



**BUREAU OF PUBLIC WORKS
SPECIAL MEETING
MONDAY, APRIL 24, 2023
5:00 PM**

Location

Board Room
District Headquarters
555 Main Street, Hartford

Dial in #: (415)-655-0001
Access Code: 43808661#
[Meeting Video Link](#)

Commissioners

Adil	Hoffman (C)
Avedisian	Johnson
Bazzano	Lester
Bush	Magnan
Currey	Pane
DiBella (Ex-Officio)	Patel
Drake	Salemi
Gale	Steuber
Gentile	Taylor
Healy	Torres (VC)
	Woulfe

Quorum: 11

1. CALL TO ORDER
2. PUBLIC COMMENTS RELATIVE TO AGENDA ITEMS
3. APPROVAL OF MEETING MINUTES OF MARCH 1, 2023
4. CONSIDERATION AND POTENTIAL ACTION RE: ABANDONMENT OF SEWER- VETERANS TERRACE 70 COLUMBUS CIRCLE EAST HARTFORD
5. CONSIDERATION AND POTENTIAL ACTION RE: RELEASE OF RIGHT OF WAY AND ABANDONMENT OF SEWER - MARTIN LUTHER KING APARTMENTS 99 VAN BLOCK AVE HARTFORD
6. CONSIDERATION AND POTENTIAL ACTION RE: ENCROACHMENT AGREEMENT- PROSSER LIBRARY 1 TUNXIS AVE BLOOMFIELD
7. REFERRAL OF ORDINANCE RE: PRIVATE PROPERTY SEWER CONNECTION RODDING OR REPAIR TO COMMITTEE ON MDC GOVERNMENT
8. REPORT RE: TOWN OF FARMINGTON SEWER METERING
9. REPORT RE: MEMORANDUM OF UNDERSTANDING RE: NORTH HARTFORD STORMWATER AND SEWERSHED STUDY
10. CONSIDERATION AND POTENTIAL ACTION RE: MEMORANDUM OF UNDERSTANDING RE: METZNER PARK IMPROVEMENTS
11. COMMISSIONER REQUESTS FOR FUTURE AGENDA ITEMS
12. OPPORTUNITY FOR GENERAL PUBLIC COMMENTS
13. ADJOURNMENT

**VETERAN'S TERRACE PHASE 3, EAST HARTFORD
ABANDONMENT OF SANITARY SEWERS**

To: Bureau of Public Works for consideration on April 24, 2023

On March 3, 2023, the District received a letter from Salvatore R. Carabetta of Veteran's Terrace Communities III LLC, Owner and Developer of Veteran's Terrace Phase 3, requesting that the Metropolitan District abandon the existing 8-inch sanitary sewer within the former Columbus Street Extension right of way in East Hartford, as shown on the accompanying map. The purpose of the request is to enable the construction of a new residential development known as Veteran's Terrace Phase 3.

The proposal submitted includes the abandonment of approximately 320 feet of 8-inch cast iron sanitary sewer, as shown on the aforementioned map. The Developer intends to install new sanitary sewer lateral connections to the existing sewers in Columbus Street and in adjacent private lands, thereby not requiring the use of these sewers. The existing sanitary sewer was originally constructed through a Developer's Permit Agreement between the East Hartford Housing Authority and the MDC in 1957 within the public right of way, therefore no easement exists.

From an engineering standpoint, the abandonment of the existing sanitary sewer will not have a negative impact on the sewer collection system, and no hardship or detriment would be imposed on others. All new connections and services to the new buildings constructed as part of this project will utilize the existing utilities in Columbus Street and adjacent private lands.

It is therefore RECOMMENDED that it be

VOTED: That the Bureau of Public Works recommends to the District Board passage of the following resolution:

RESOLVED: That the Chairman or Vice Chairman of the District Board be authorized to execute the abandonment of the existing sanitary sewers on Columbus Street Extension, property formerly of the Town of East Hartford, as shown on the accompanying map.

Respectively submitted,



Scott W. Jellison
Chief Executive Officer

The Metropolitan District
555 Main Street
Hartford CT, 06103

March 3, 2023

Re: Veterans Terrace Extension
Request to Abandon Sanitary Sewer
Michael Ave to Columbus Circle

To whom it may concern,

The undersigned is the anticipated owner of the improvements to be known as Veterans Terrace Phase 3. In partnership with the East Hartford Housing Authority, we will be demolishing all structures and a select number of existing site utilities as part of a state funded rehabilitation of the property to provide quality affordable apartments to low-income residents.

The rehabilitation will include the demolition and removal of all (8) existing buildings and the new construction of (9) new residential buildings and (1) community center. In order to facilitate the aforementioned rehabilitation, the existing Columbus Circle Extension will be abandoned, and new site drainage will be provided for the property.

Accordingly, in furtherance of the new drainage system and the construction of the nine new residential buildings, the existing 8" sanitary sewer that runs between Columbus Circle (SMH #981), through the center of Columbus Circle Extension (to be abandoned) to Sanitary Manhole #SMH #766, highlighted in pink in the attached plan must be abandoned.

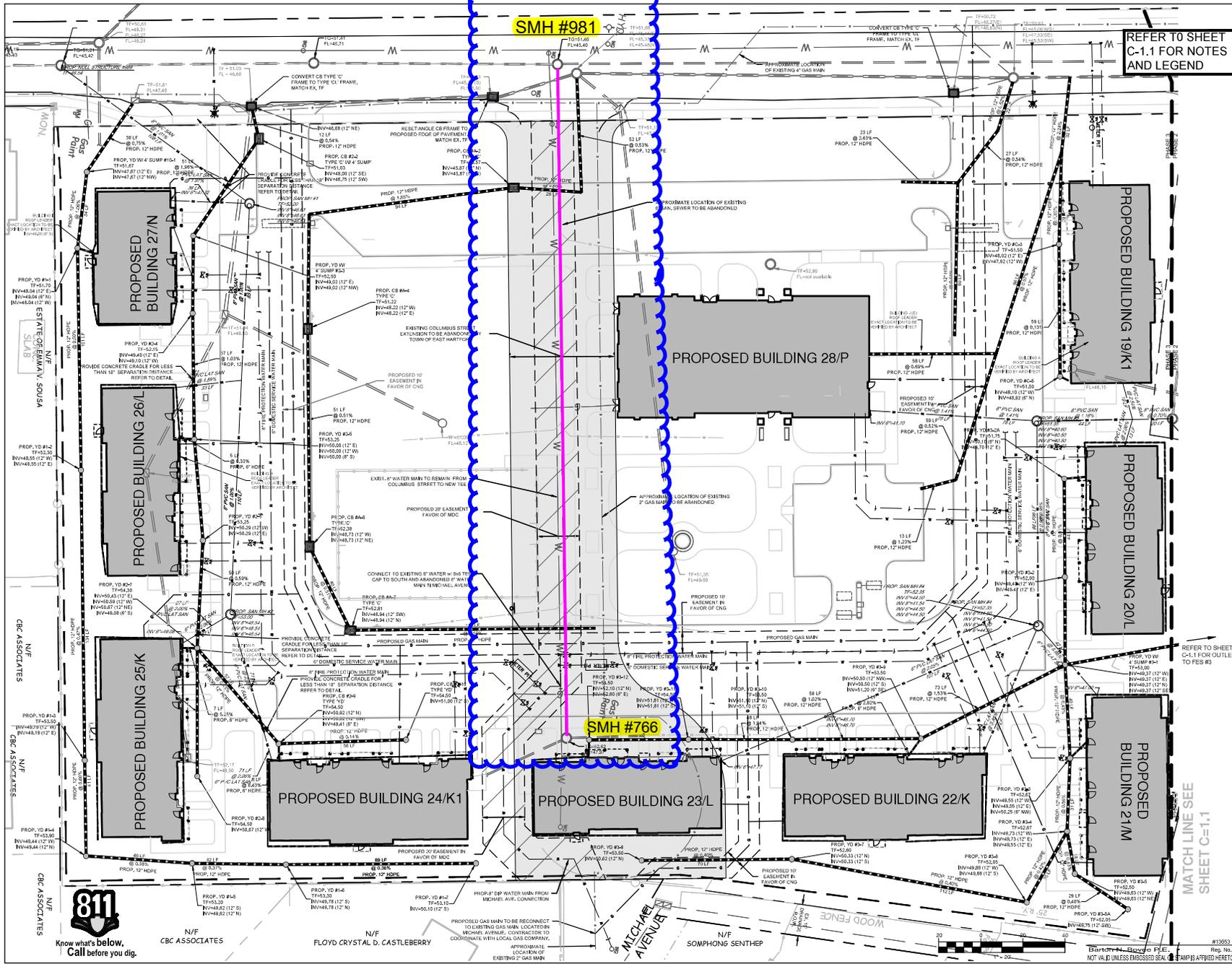
This letter shall serve as our official request to abandon the above-referenced existing sanitary sewer line. Thank you for your attention to this issue. And should you have any questions or concerns, please do not hesitate to contact us.

Very Truly Yours

Veterans Terrace Communities III LLC
Veterans Terrace MM III LLC
Its Managing Member
Investors Network LLC
A Managing Member

By: 

Salvatore R. Carabetta



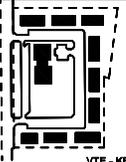
REFER TO SHEET C-1.1 FOR NOTES AND LEGEND

QA+M
architecture
 OulsenberryArcariMalk
 195 Scott Swamp Road
 Farmington, CT 06032
 qamarch.com

cole
 HARRY E. COLE & SON
 engineering, surveying, planning
 1410 Main Street
 Farmington, CT 06032

HARRY E. COLE & SON
 876 SOUTH MAIN ST.
 FARMINGTON, CT 06032
 PHONE: (860) 628-4444

NOT FOR CONSTRUCTION
 ISSUED FOR REVIEW ONLY



PROJECT DESCRIPTION:
VETERANS TERRACE EXTENSION
 EAST HARTFORD, CT
 Project #: QAM 1559/ TD 6250

Revisions August 17, 2022
 Issue Dates: November 4, 2020

80% CONSTRUCTION DOCUMENTS
 NOVEMBER 4, 2020

UTILITY PLAN

C-1.0

811
 Know what's below.
 Call before you dig.

N/F CBC ASSOCIATES
 N/F FLOYD CRYSTAL D. CASTLEBERRY

Blanton N. Bayne P.E.
 NOT VALID UNLESS ENCLOSED SEAL & STAMP IS AFFIXED HERETO



Existing 20' Sanitary Sewer Easement

EXISTING 8" SEWER PIPE TO BE ABANDONED (TYP.)

Existing Sanitary Sewer (Typ.)

**VETERANS TERRACE PHASE 3
COLUMBUS STREET EXT.**

EAST HARTFORD

F:\Town\EastHartford\Sewer\ColumbusSt\VeteranTerr-AgendaPh3.dwg
Latest Revision: 4/3/23

TO ILLUSTRATE EXISTING
SANITARY SEWER TO BE ABANDONED

**99 VAN BLOCK AVENUE, HARTFORD MLK APARTMENTS
RELEASE OF RIGHT-OF-WAY AND ABANDONMENT OF SANITARY
SEWERS**

To: Bureau of Public Works for consideration on April 24, 2023

On March 9, 2023, the District received a letter from Will Walter, P.E., of Benesch on behalf of MLK Cooperative, Inc., (the "Owner") and Developer of Martin Luther King Apartments located at 99 Van Block Avenue in Hartford (the "Property"), requesting that the Metropolitan District abandon and release the existing sanitary sewers and easements within the Property, as shown on the accompanying map. The purpose of the request is to enable the construction of a new residential development.

The Developer intends to install new sanitary laterals to serve the proposed buildings within the development to existing sewers located in Van Block Avenue and Luis Ayala Lane, thereby not requiring the use of the onsite sanitary sewers. The original easement was acquired by the Metropolitan District from the Van Block Housing Corporation through a Developer's Permit-Agreement in May, 1969.

From an engineering standpoint, the release of the requested easements and abandonment of the sanitary sewers will not have a negative impact on the District's sewer system, and no hardship or detriment would be imposed on others.

It is therefore RECOMMENDED that it be

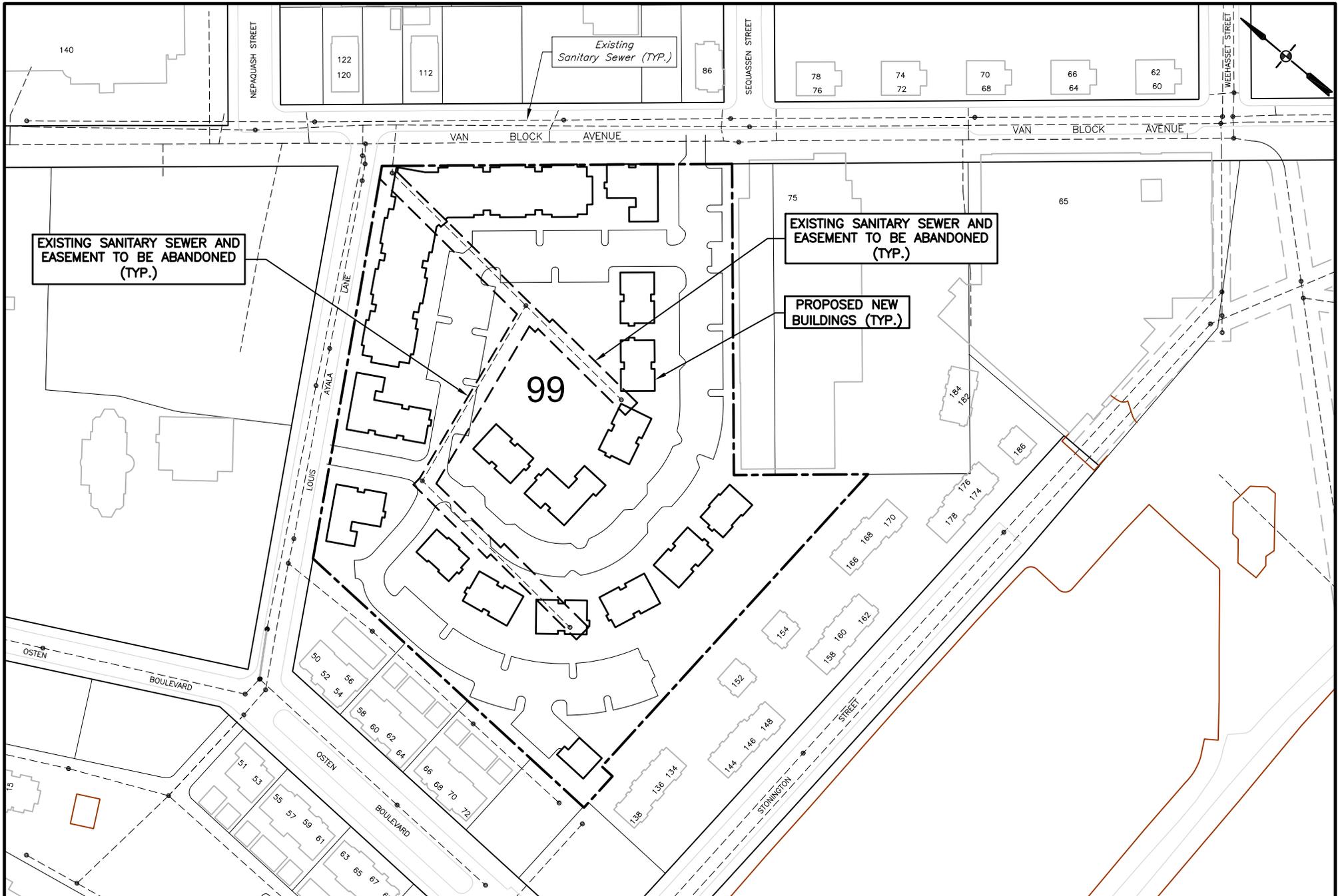
VOTED: That the Bureau of Public Works recommends to the District Board passage of the following resolution:

RESOLVED: That the Chairman or Vice Chairman of the District Board be authorized to execute the release of the existing sanitary sewer easements and discontinued sanitary sewers on property owned by MLK Cooperative, Inc., as shown on the accompanying map and as recorded in the City of Hartford land records in Volume 1229, Pages 279-281. The release shall be subject to approval by District Counsel as to form and content.

Respectively submitted,



Scott W. Jellison
Chief Executive Officer



MLK APARTMENTS
99 VAN BLOCK AVENUE
HARTFORD

F:\Towns\Hartford\Sewer\VanBlockAve\99VanBlockAve-Agenda.dwg
 Latest Revision: 3/21/23

**TO ILLUSTRATE EXISTING
 EASEMENT AND SANITARY SEWER
 TO BE ABANDONED**

March 9, 2023

Michael Curley, PE
Technical Services, Engineering & Planning
MDC
555 Main Street
Hartford, CT 06103

**RE: Sanitary Easement Abandonment Request
MLK Apartments
Van Block Avenue Hartford, CT**

Dear Michael:

The property owner, MLK Cooperative, Inc., is proposing a new residential project at property located at the corner of Van Block Avenue and Luis Ayala Lane, in Hartford, Connecticut. The property is currently situated with a number of residential buildings, all of which have either been abandoned, or will be abandoned shortly. The project includes the complete demolition of the site and reconstruction that includes fifteen multi-family residential apartment style buildings and one (1) maintenance buildings, all of which will vary in size.

The site currently contains an MDC main and associated easement that serves the existing buildings. As the building configuration on the site is changing, this existing easement is located in areas where new buildings are proposed. Additionally, it is our understanding that the existing MDC sanitary infrastructure within that easement does not conform to current MDC standards. We are therefore requesting to abandon the easement and existing sanitary infrastructure within the easement. We are indicating the limits of the existing easement to be abandoned on attached plan entitled 2023-03-08 Sanitary Easement Abandonment Limits.

The new development is proposing to provide sanitary collection through new on-site laterals that will connect to the mains in Van Block Avenue and Luis Ayala Lane, as can be seen on the attached Site Utility Plan. Therefore, we are not requesting a Developers Permit Agreement as part of this project.

Please find the following attachments to this request letter:

- Existing Conditions Plan.
- 2023-03-08 Sanitary Easement Abandonment Limits.
- C-300 Utility Plan.
- Legal Easement, as filed with the City of Hartford, to be abandoned.
- City of Hartford Site Plan Approval
- CAD File – most of the layers have been stripped out for ease of identification of the easement.

A \$600 check will be hand delivered to you at the above address by the property owner.

Please let us know if you have any questions or require additional information.

Sincerely,



Will Walter, PE
Senior Project Manager

Owners Signature



Aaron Greenblatt
MLK Cooperative, Inc.

cc. Dave Goslin (via email)
Aaron Greenblatt (via email)
Alexandra Michaud (via email)
Sara Leadbetter (via email)

**1 TUNXIS AVENUE & 6 MOUNTAIN AVENUE, BLOOMFIELD
NEW PROSSER LIBRARY
ENCROACHMENT AGREEMENT**

To: Bureau of Public Works for consideration on April 24, 2023

In a letter dated February 10, 2023, Mr. Rock Emond, Associate Civil Engineer of SLR International, Inc., on behalf of the Town of Bloomfield, owner of the above-referenced property (“Owner”), has requested permission from The Metropolitan District (“MDC” or “District”) to encroach on the MDC’s existing 20-foot-wide Bloomfield Trunk Sewer easement or right-of-way, encompassing an existing 24-inch sanitary trunk sewer and its appurtenant infrastructure (collectively, the “Sewer”), situated on the Property (“ROW”) for the purpose of constructing and installing site improvements for and in connection with the construction of the new Prosser Library building (the “Project”).

The proposed work for the Project entails (i) excavation and removal of up to two feet of fill, (ii) removal of pavement and curbing, (iii) installation of two 6-inch sanitary sewer lateral connections to the Sewer, (iv) installation of stormwater system infrastructure (12-inch HDPE pipe), and (v) the installation of an overhead pedestrian bridge all within such ROW as shown on the accompanying maps (collectively, the “Improvements”). The proposed storm piping will be installed above the Sewer with a minimum of three feet of vertical clearance between this Sewer and such piping. The overhead bridge will be installed with a minimum of twelve (12) feet of vertical clearance over the surface level of the ROW and all supports and footings will be located outside of the ROW. The Sewer was built in 1961.

MDC staff has concluded that the Improvements are minor and that there will be no detriment to the Sewer as a result, provided Owner enters into and executes an encroachment agreement with the MDC, whereby Owner complies with the following conditions and other conditions required hereby.

Owner has agreed to the following conditions in order to satisfy the District’s concerns for protection of the Sewer located within the Property and to maintain accessibility along the length of the MDC’s ROW:

1. Care must be taken during the performance of work for the Improvements or any maintenance, repair or replacement of the same not to disturb the Sewer. All heavy construction equipment and materials must be located outside of the limits of the ROW when not in use. Any earth moving equipment that will be utilized on the ROW over and adjacent to the Sewer shall be reviewed and approved by District staff prior to mobilization to the site. Any damage to the Sewer caused by any construction, maintenance, repair, replacement or associated activities by or on behalf of Owner within the ROW shall be the responsibility of the Owner.
2. No additional permanent improvements, other than the proposed Improvements, shall be located within the ROW.

3. The District reserves the right to remove Improvements within the ROW at any time if so required for maintenance, repair or replacement of the Sewer. Owner shall bear any additional maintenance, repair or replacement costs necessitated by the presence of Improvements within the ROW, including any such costs incurred by the District.
4. In the event of a sewer emergency caused by the proposed excavation described above, the Owner shall provide, install, operate and remove, at the Owner's expense, an appropriately sized bypass pump and appurtenances.
5. An MDC or MDC hired-consultant inspector must be on the job site whenever work is being performed within the ROW, and Owner shall be responsible for the cost and expense of such inspector. Any construction of the Improvements as well as any subsequent construction, maintenance, repair or replacement of the Improvements shall conform to District standards and 48-hours advance notice must be given to the District and a preconstruction meeting shall be held prior to commencing any such activities within the ROW, except in the case of an emergency, in which case notice must be provided to the District as soon as practicable. Such inspector shall have the unilateral right to halt performance of any such work in the event the integrity of the Sewer is in any way threatened as determined by such inspector in his or her sole and absolute discretion.
6. The Owner shall perform a CCTV inspection, witnessed by an MDC inspector, of the Sewer in the areas of the construction prior to and upon completion of backfilling and restoration of the excavated areas. The videos will be delivered to the District for the purposes of assessing the pre- and post-activity condition of the Sewer.
7. The Owner shall maintain the District's standard form of insurance as stipulated in the MDC's most current Guidance Manual for Developers' Permit Agreements, which insurance shall remain in force and effect during the performance of any work with in the ROW pursuant to the encroachment contemplated herein.

Staff has reviewed this request and considers it feasible, subject to the terms and conditions herein.

Accordingly, a formal written encroachment agreement shall be entered into and executed by the Owner and the District, which agreement shall include the above conditions and any other conditions set forth herein, and filed on the Town of Bloomfield Land Records.

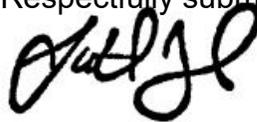
It is RECOMMENDED that it be

VOTED: That the Bureau of Public Works recommends to the District Board passage of the following resolution:

RESOLVED: That the Chairman or Vice Chairman of the District Board be authorized to execute an agreement, with the above conditions and

subject to approval of form by District Counsel, granting permission to Owner to encroach upon the existing 20-foot sanitary sewer easement situated on the Property in order to: (i) perform the work for the Improvements in connection with the Project as shown on the plan submitted by SLR International, Inc., entitled "Figure 1 – Sewer Easement Utility Encroachment Bloomfield Public Library New Prosser Library 1 Tunxis Avenue Bloomfield, Connecticut," dated September 29, 2022, revised 12/9/22 and 2/9/23, Sheet No. Fig. 1, and (ii) maintain, repair and replace such Improvements, provided that: (a) the District shall not be held liable for any cost or damage of any kind from the present and in the following years as a result of any encroachment authorized hereby, (b) Owner shall reimburse MDC for any attorney fees and other costs incurred by MDC in enforcing the encroachment agreement, and (c) such agreement shall not be effective until fully executed by the District and Owner, and recorded on the Bloomfield Land Records. In the event that such full execution and recording does not occur within three (3) months of the date this resolution is passed by the District Board, then such resolution shall be null and void, and of no further force and effect.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Scott W. Jellison". The signature is stylized and cursive.

Scott W. Jellison
Chief Executive Officer

February 10, 2023

Michael Curley
Manager of Technical Services, Engineering & Planning
Metropolitan District
555 Main Street, P.O. Box 800
Hartford, Connecticut 06142-0800

RE: Encroachment Permit
Bloomfield Public Library
New Prosser Library
1 Tunxis Avenue and 6 Mountain Avenue
Bloomfield, Connecticut 06002
SLR #12351.00095

Dear Mr. Curley:

Pursuant to a request by the Town of Bloomfield for approval of encroachments within an easement owned by the Metropolitan District located on 1 Tunxis Road, Bloomfield, Connecticut please see attached enclosures including but not limited to:

- Partial Site Plan & Section provided by TSKP Studio
- Figure 1 – Sewer Easement Utility Encroachment provided by SLR International Corporation
- Property and Topographic Survey provided by Delta Surveying Services, LLC

The list of encroachments within the Metropolitan District Sewer Easement are as follows:

1. Pedestrian bridge crossing above easement
2. Storm drainage piping and structures within or around the easement
3. Grading in excess of 1 foot
4. Sanitary connections to existing 24" RCP owned/operated by the MDC

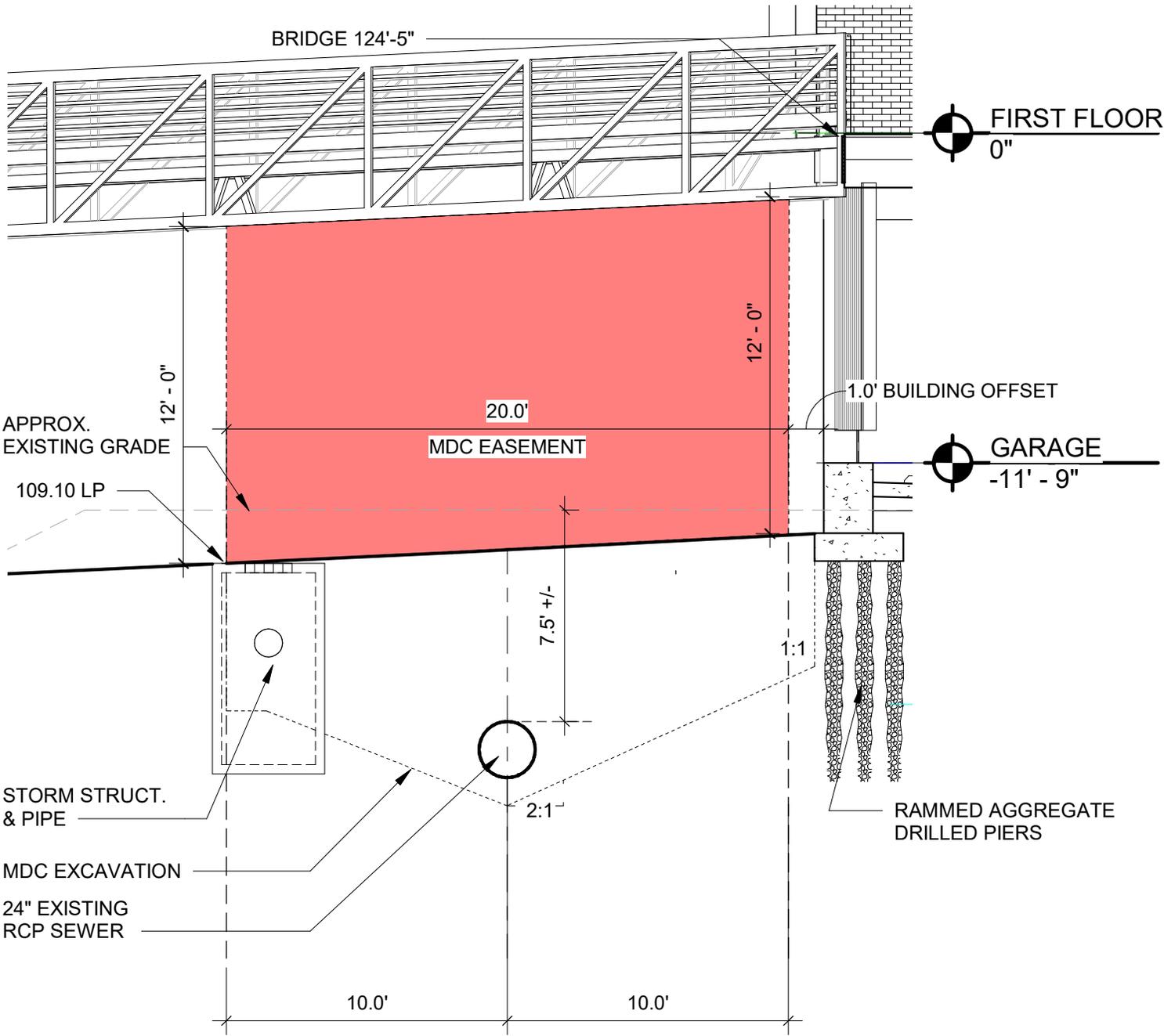
Please do not hesitate to contact me at (203) 271-1773 should you have any questions regarding this matter.
Very truly yours,

SLR INTERNATIONAL, INC.



Rock Emond
Associate Civil Engineer

Cc: Mr. Ryszard Szczypek, TSKP Studio
Mr. Michael Cegan, Richter and Cegan, Inc.
Ms. Nancy Hayes, Town of Bloomfield

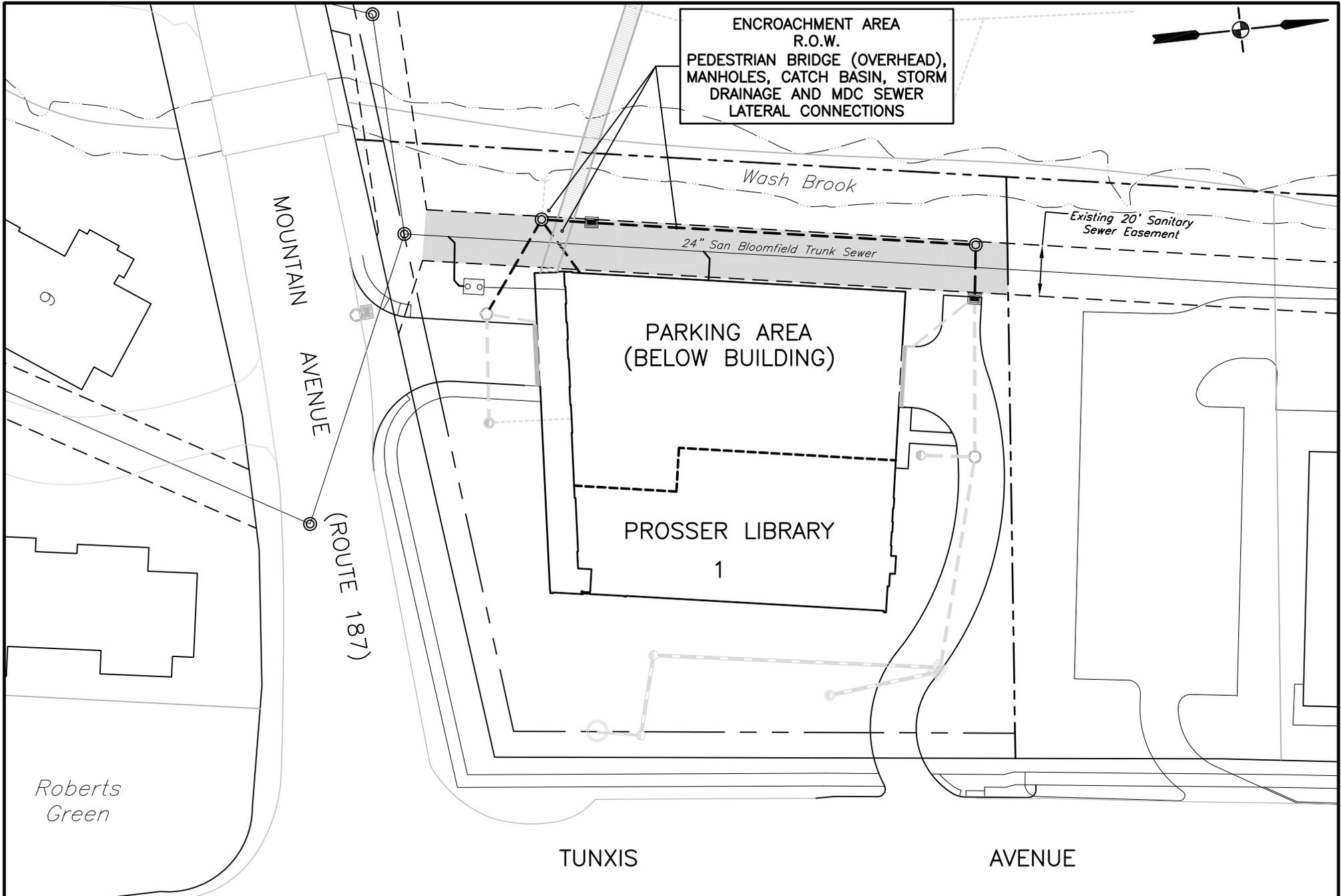


1 SECTION A-A'
3/16" = 1'-0"

TSKP STUDIO One Hartford Square West 146 Wyllys Street, Bldg. 1-203 Hartford, CT 06106 • 860.547.1970	JOB NAME / NUMBER: BLOOMFIELD PUBLIC LIBRARY PROSSER LIBRARY		TITLE: SCHEMATIC SECTION MDC EASEMENT	DRAWING NO: SKS-01
	SCALE: 3/16" = 1'-0"			
	DATE: 01/30/23	PREPARED BY: D.L.		



ENCROACHMENT AREA
 R.O.W.
 PEDESTRIAN BRIDGE (OVERHEAD),
 MANHOLES, CATCH BASIN, STORM
 DRAINAGE AND MDC SEWER
 LATERAL CONNECTIONS



Roberts
 Green

MOUNTAIN
 AVENUE
 (ROUTE 187)

TUNXIS

AVENUE

PROSSER LIBRARY
 1 TUNXIS AVENUE

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 Latest Revision: 3/30/23

TO ILLUSTRATE SANITARY SEWER
 EASEMENT ENCROACHMENT

BLOOMFIELD



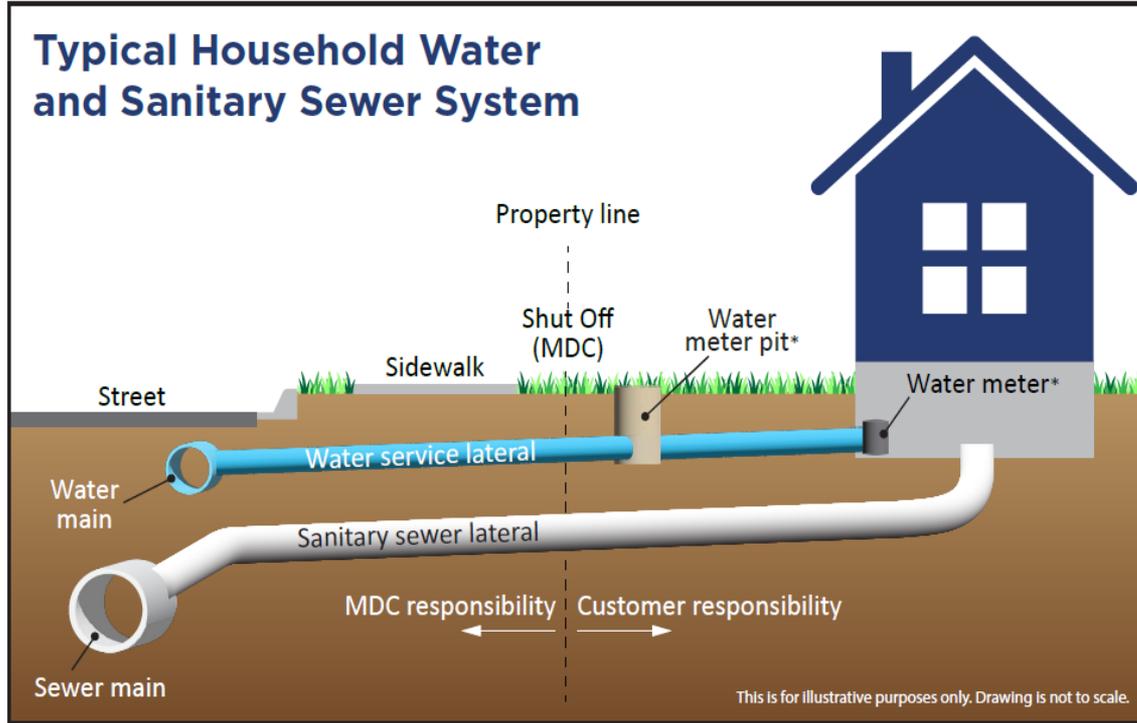
District Bureau of Public Works
April 24, 2023

Agenda Item 7: Private Property Sewer Connection Rodding or Repair

Overall Objectives

1. Provide a method for customers to address failing private property infrastructure.
2. Reduce/Eliminate private Inflow and Infiltration to the District's sanitary sewer system
3. Eliminate the need for District and Private Property Owner (Owner) to coordinate lateral cleaning activities and to ensure adequate work is performed.
4. Allow the District to address CWP/IP private property separation and infrastructure improvements over a longer period of time to reduce neighborhood impacts when coupled with Section 11 – Separation of Existing Private Combined Sewer House Connections.
 1. The District would address failing combined sewer connections prior to separation work and install future storm connections to street line when applicable.

Typical House Connection (Sewer Lateral & Water Service)



*For most MDC Customers, the water meter is located in their basement. External water meter pits are currently being installed District-wide, on services 2 inches or smaller, as the new location for the water meter.

Sec S3t – Sewer Stoppages

Objectives of Changes

- Provide a method for the District to provide assistance to the customer to remove blockage
 - At no cost to the customer
 - Provide expert experience and oversight of contractor
 - Option for the Owner can still hire their own contractor at their own cost
- Provide liability protection related to timeliness and performance of the Contractor
 - District Contractor would carry the liability for any damages to the private property as part of their contractual agreement with the District
 - The Owner would release the District from any damages that resulted in timeliness of the clearing of the blockage if they choose to have the District's contractor perform the rodding work.
- Provide definition to the Owner's responsibility for routine maintenance to the sewer house connection
 - Maintain that the maintenance of the lateral is the Owner's responsibility.

Sec S3s – Maintenance of Sewer Connections

Objectives of Changes

- Provide definition for the District to repair or renew/rehabilitate sewer house connections in disrepair from the street line to the building at no cost to the Owner.
- Sewer Installation Program is remains in place for new service connections only.
- Provide liability protection related to timeliness and performance of the Contractor
 - District Contractor would carry the liability for any damages to the private property as part of their contractual agreement with the District
 - The Owner would release the District from any damages that resulted in timeliness of the repair or renewal if they choose to have the District's contractor perform the work.

Questions?



**Bureau of Public Works
April 24, 2023**

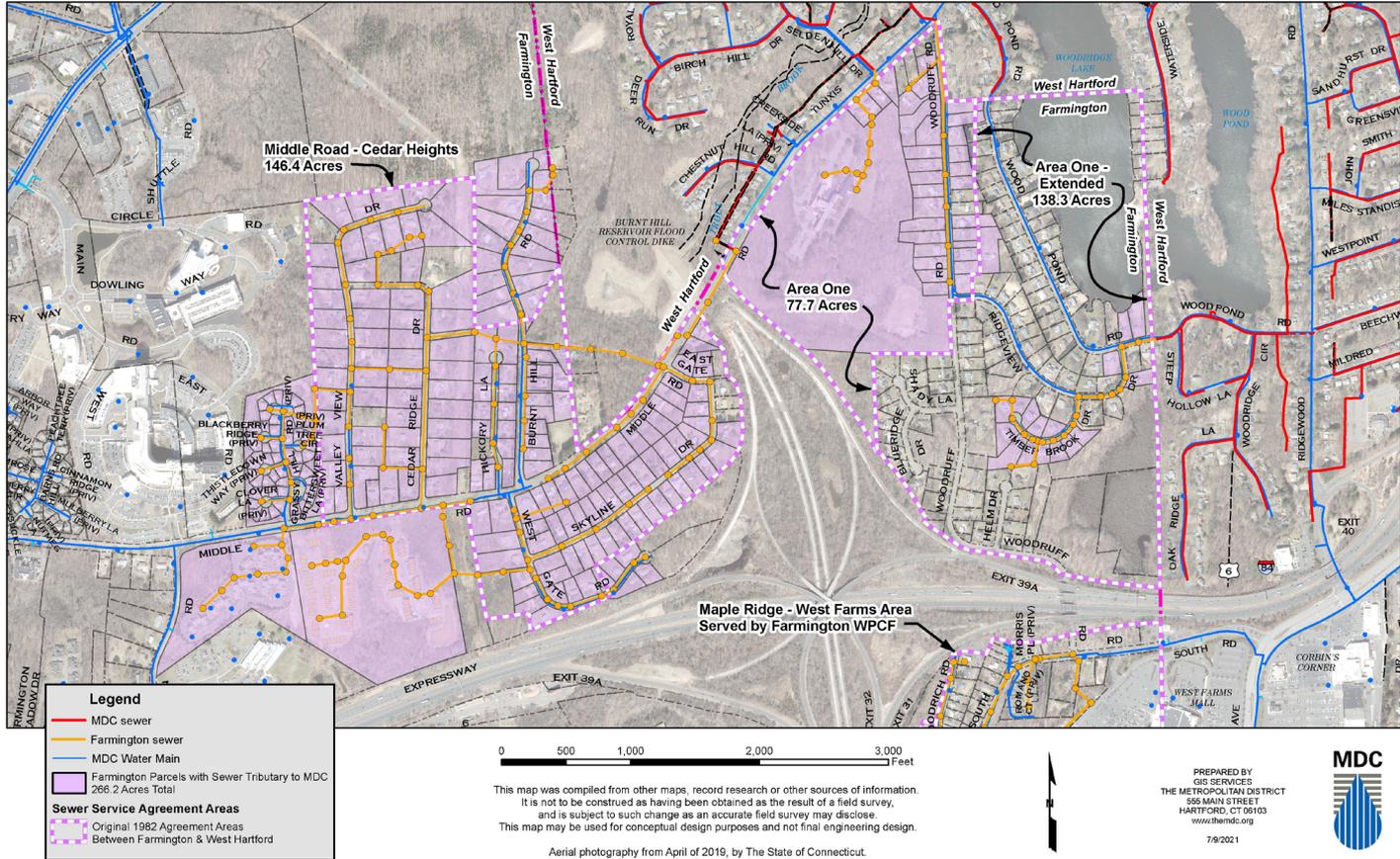
Agenda Item 8: Town of Farmington Sewer Metering

Farmington SSA

- History of Satellite Sewer Agreements (SSA)
 - Town of WH & Farmington (1982)
 - Amendments in 1996 & 2002 for service area additions
- Currently Invoiced based on Water Consumption (actual & estimated)
- SSA does not specify flow quantification approach

Farmington Service Area

Farmington Properties Tributary to MDC Sewers and Sewer Service Agreement Areas



Farmington SSA

- Comparison to other Satellite Sewer Agreements (SSA):
 - Flow Into District Measured by Sewer Meters:
 - East Granby (2 Meters)
 - Connecticut Airport Authority (CAA) (2 Meters)
 - Flow Out From District Measured by Sewer Meters:
 - Berlin (2 Meters)
 - » Flows discharge to Mattabassett from Berlin
 - Mattabassett (1 Meter)
 - Metered flows include Dry Weather & Wet Weather
 - Consistent with EPA Required CMOM Program
 - Water consumption based billing does not account for wet weather flows (infiltration/inflow)
- Middle Road-Cedar Heights Pilot:
 - Temporary Meter installed in February 2021 (through present)
 - Prorated Annual Metered Volume:
 - 69,129 CCF
 - Previously Invoiced (Middle Road-Cedar Heights Area):
 - 2018 = 21,519 CCF
 - 2019 = 23,053 CCF
 - 2020 = 24,022 CCF
 - 2021 = 21,164 CCF
 - Equivalent to 75-80% Of Farmington Annual Sewer Invoices

Proposed Project

- Installation of 4 Billing Meters
 - Meter Cost (\$25,000-\$30,000 each) = \$150,000 (approximate)
 - Preparation of Installation Plans = \$79,000 (Completed)
 - Town of West Hartford IWWC Permit Required
 - Meters to be connected to SCADA
- Business Case Justification:
 - Accurate flow data
 - Alignment with CMOM & Integrated Planning Objectives
 - Alignment of Invoices with Cost of Service
 - Increased revenue based on actual flows
- Schedule:
 - Completion of Design & Permitting = 2023 Q2
 - Installation of Meters = 2023 Q3
 - Begin Invoicing 2024 Q1

Questions?