



The Metropolitan District  
water supply · environmental services · geographic information

**BUREAU OF PUBLIC WORKS  
REGULAR MEETING  
WEDNESDAY, AUGUST 21, 2024  
4:00 PM**

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**Location**

Board Room  
District Headquarters  
555 Main Street, Hartford

Dial in #: (415)-655-0001  
Access Code: 2318 706 5708#

[Meeting Video Link](#)

**Commissioners**

Avedisian	Holloway
Bazzano	Johnson
Bush	Lester
Currey (Ex-Officio)	Magnan
DiBella	Patel
Drake	Salemi
Gale	Steuber
Gentile	Taylor
Healy	Torres (VC)
Hoffman (C)	Woulfe

**Quorum: 10**

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1. CALL TO ORDER
2. PUBLIC COMMENTS RELATIVE TO AGENDA ITEMS
3. APPROVAL OF MEETING MINUTES OF JUNE 26, 2024
4. PRESENTATION BY CDM SMITH RE: NORTH BRANCH PARK RIVER STUDY
5. REPORT RE: UPDATE ON DURHAM STREET PROJECT
6. CONSIDERATION AND POTENTIAL ACTION RE: REIMBURSEMENT AGREEMENT WITH TOWN OF WINDSOR- BAKER HOLLOW DEVELOPER'S PERMIT AGREEMENT
7. CONSIDERATION AND POTENTIAL ACTION RE: ENCROACHMENT AGREEMENT - WILSON PARK, WINDSOR
8. OPPORTUNITY FOR GENERAL PUBLIC COMMENTS
9. COMMISSIONER REQUESTS FOR FUTURE AGENDA ITEMS
10. ADJOURNMENT



# Hartford MDC

Blue Hills/Granby Area Drainage Study  
July 18, 2024

# Introductions & Agenda

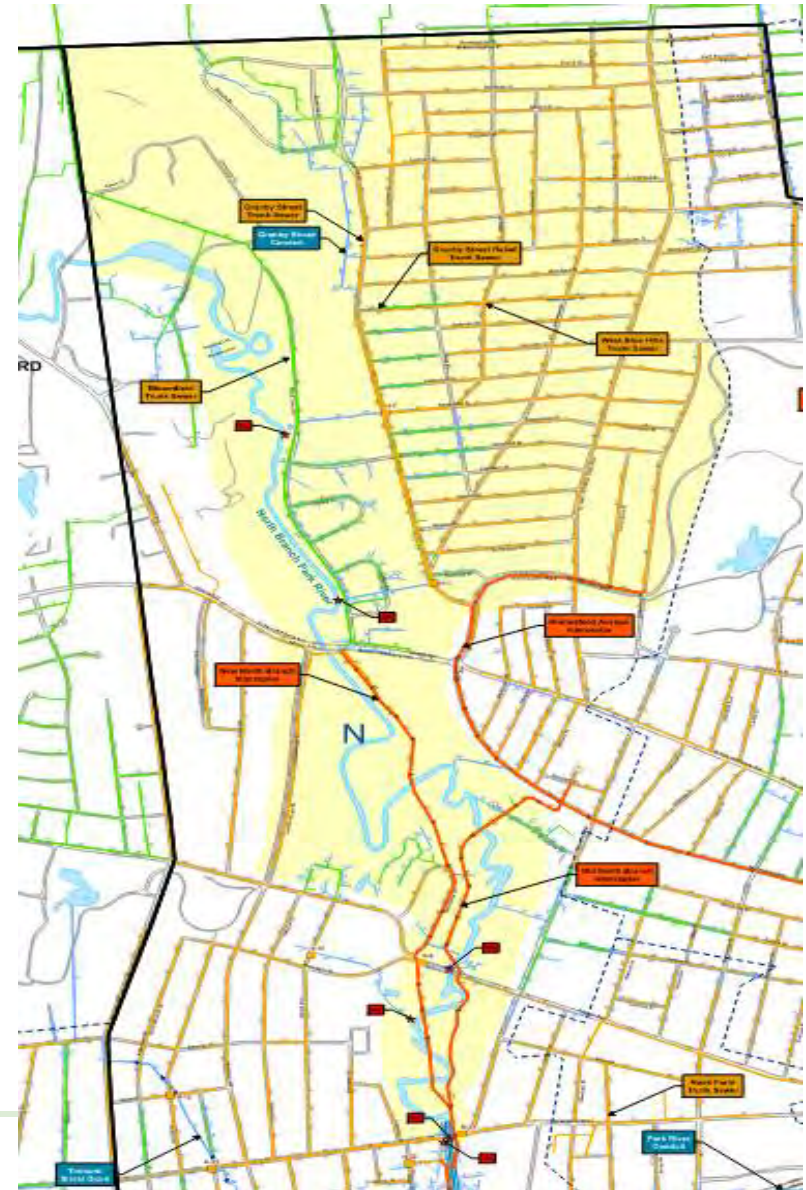
- Introductions
- Project Overview & Scope
- Flooding
- Field Investigation Findings & Recommendations
- Sewer Separation Considerations
- Next Steps



# Project Overview/Scope

# Project Overview

- Project established in response to flooding in the Granby/Blue Hills area of Hartford (in yellow on figure)
- Two main components:
  - Evaluation of North Branch Park River (NBPR) for City
  - Sewer Separation Preliminary Design for MDC



# Project Scope

- Evaluation of North Branch Park River (for City)
  - Review past reports
  - Walk NBPR from Farmington Ave (PRC entrance) to UHART bridge to document existing conditions and identify deficiencies
  - Collect sediment samples for environmental & geotechnical testing
  - Develop memo to document existing conditions & make recommendations
- Sewer Separation Preliminary Design (for MDC)
  - CCTV and meter existing drains
  - Perform hydraulic modeling of pipe network
  - Develop plans & profiles for proposed drains (including outfalls) to separate storm flow out of existing combined sewers

# Why Are We Doing This?

- Several large storms in recent years have caused major flooding
- Impacts to residents, schools, businesses and other properties
- MDC's Long-Term Control Plan requires elimination of Combined Sewer Overflows (CSOs)



<https://www.fox61.com/article/news/local/outreach/awareness-months/mdc-releases-statement-on-recent-hartford-flooding-that-left-people-stuck-in-flood-waters/520-602e6be2-fd71-41c8-96e4-3f240f67ed96>



# What is causing the flooding in the Granby Area?

- Development in the flood plain
- Railroad swale
  - Ponding between railroad berm and Granby St
- Maintenance issues
  - NBPR
  - Unnamed stream from Granby St Conduit to NBPR
  - Catch basin cleaning, street sweeping
- Culverts under-sized
- Lack of storm drain system

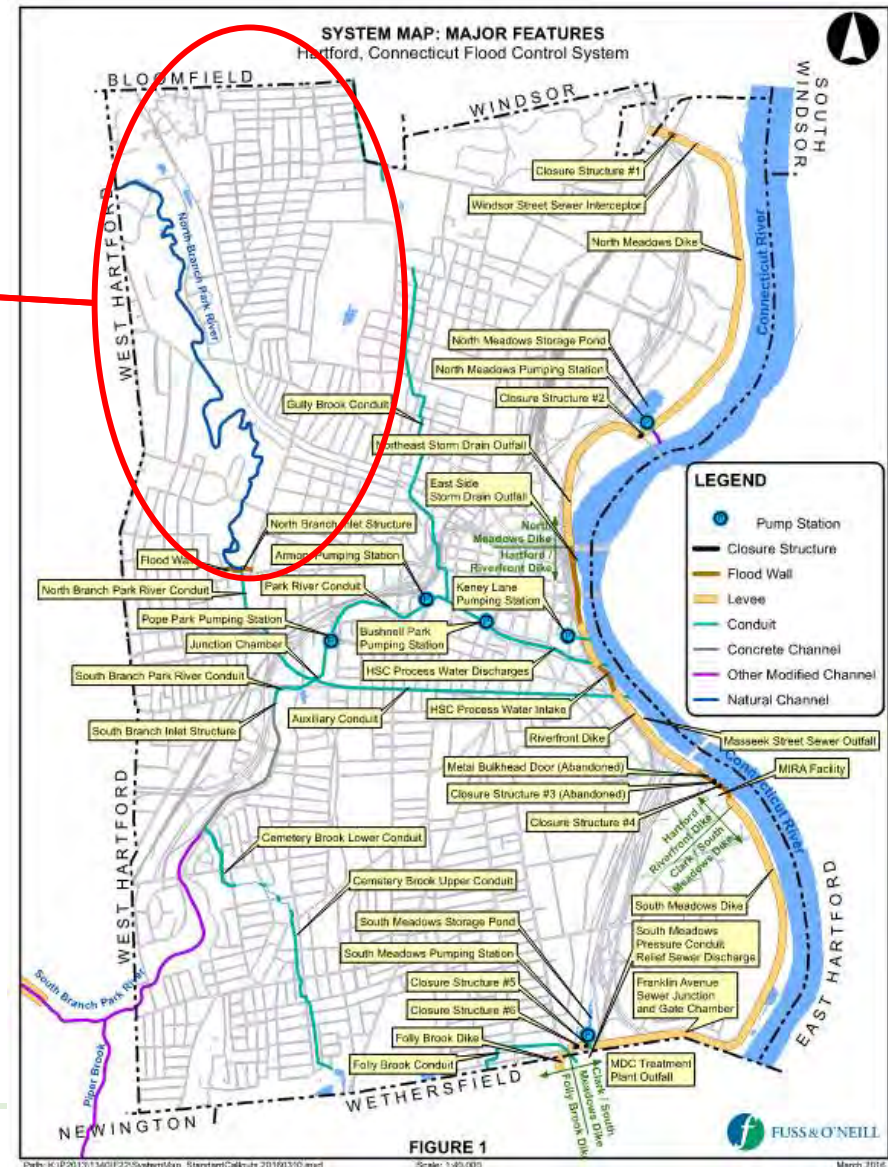




# Flooding

# Flood Control

- No flood control measures located within project area
- Pump stations in many other locations throughout the city

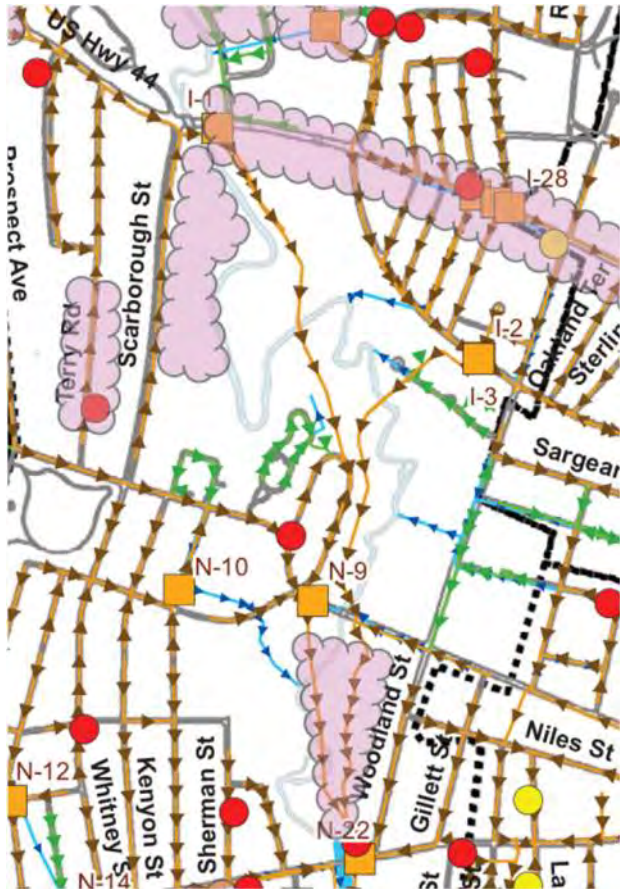


# Flood Commission 1959 Report

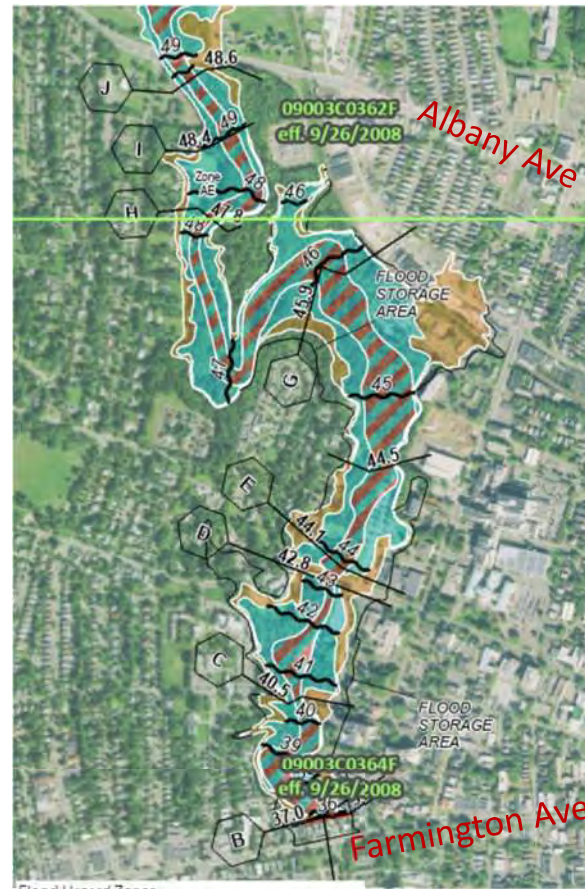
Future Development. Much of the land along the North Branch which is now undeveloped is fairly level and adaptable for building in the future. It may be expected that if the area is allowed to develop on an unrestricted basis it will gradually be filled up with residences and possibly some small business establishments and industries. Such encroachment should not be allowed to occur since increased losses from future floods would result. To protect against such losses, considerable future construction of flood walls or dikes would be required. This construction would be very expensive and in addition much of the present overbank storage would be lost. For this reason it appears essential to establish encroachment lines within which no private development or land filling could take place. These lines should be as close to the design flood line of Project Storm "A", shown on Plate 18, as is considered practicable after careful study of land costs, taxes, existing buildings, probable flood damages, future streets, and the location of the proposed expressway. The relative volume of overbank storage which would be lost in establishing these lines should be considered also. The land thus reserved would continue to be useful for truck farming or other purposes. Part of it might advantageously be developed as a recreational area with parks and playgrounds contributing to the welfare of the surrounding population.

Report to Greater Hartford Flood Commission upon Control of Floods in Park River, Part 2 Flood Control Works, August 1959, by Metcalf & Eddy

# Reported Flooding – South of Albany Ave



- Command center calls reporting wet-weather sewer surcharge (since 2020)
- ☁ Areas prone to flooding per MDC or COH Staff
- Command center calls reporting wet-weather street flooding or groundwater in basement (since 2020)



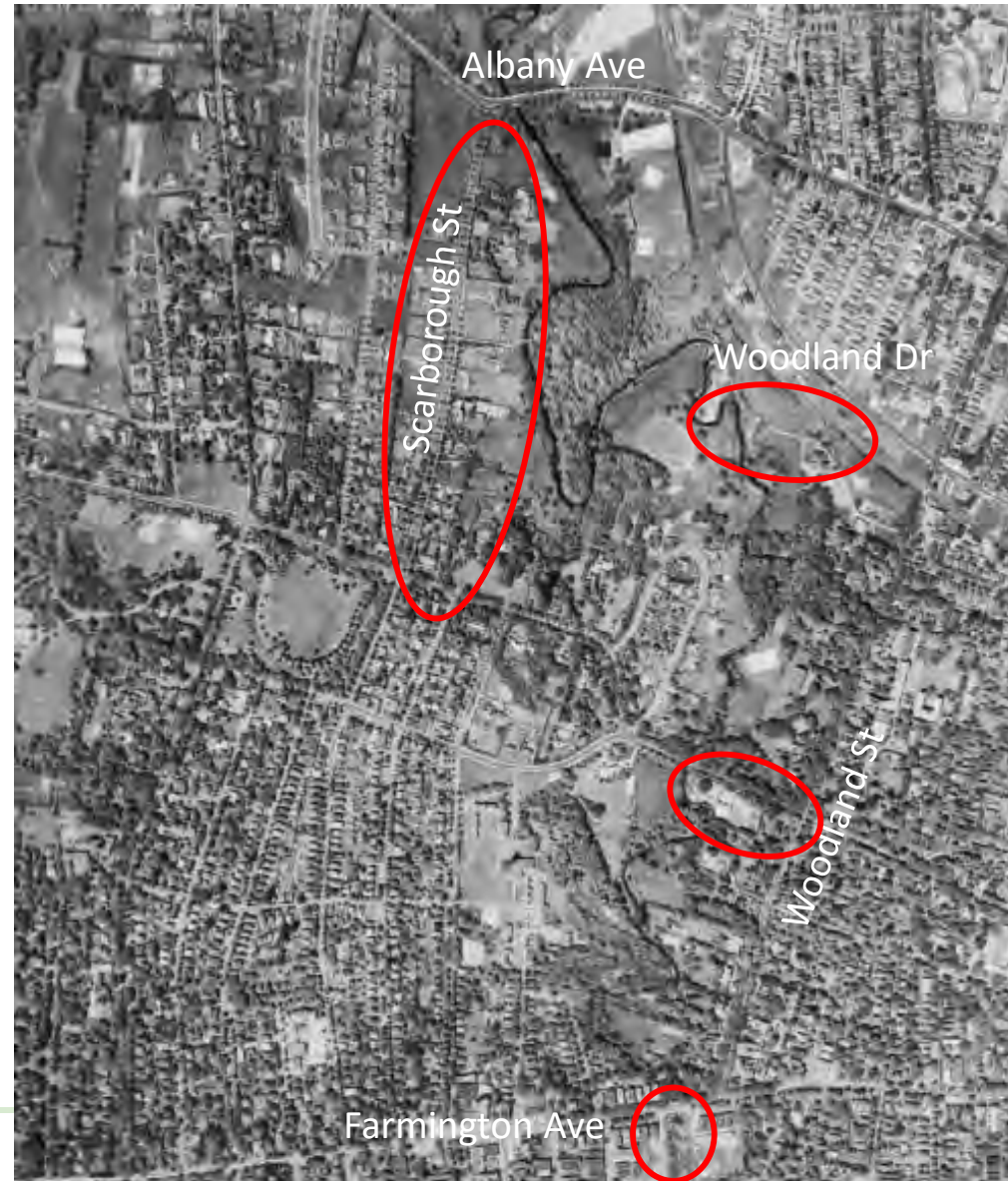
- Flood Hazard Zones
- 1% Annual Chance Flood Hazard
  - ▨ Regulatory Floodway
  - ▨ Special Floodway
  - Area of Undetermined Flood Hazard
  - 0.2% Annual Chance Flood Hazard

Frequently reported flooding areas:

- Scarborough St
- Woodland Dr – public housing
- Woodland St – parking lot

# 1934 Photo South of Albany Ave

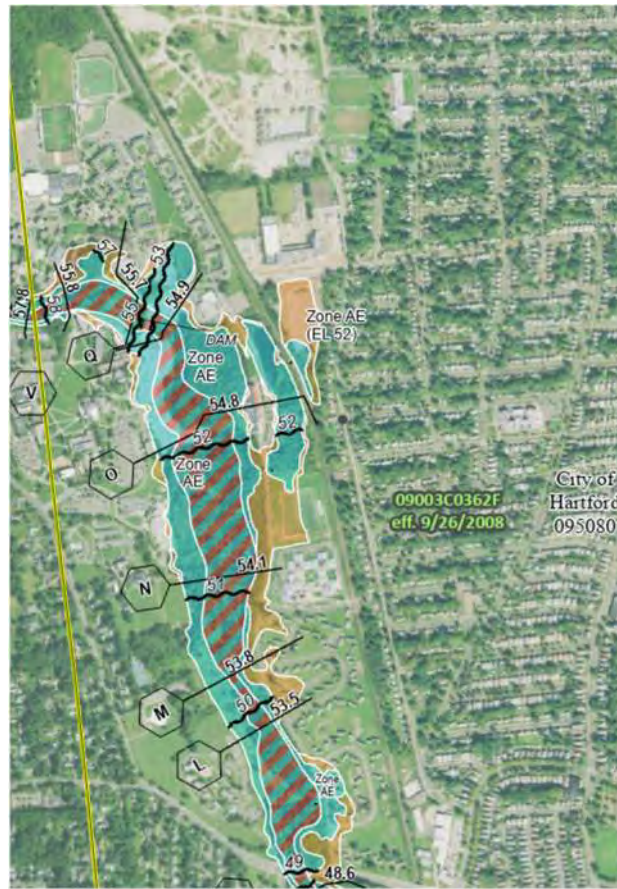
- Scarborough St – houses
- No Woodland Dr (public housing)
- Woodland St parking area – developed but no buildings
- Park River Conduit (PRC) built in the 1940s



# Reported Flooding – North of Albany Ave



- Command center calls reporting wet-weather sewer surcharge (since 2020)
- Command center calls reporting wet-weather street flooding or groundwater in basement (since 2020)
- Areas prone to flooding per MDC or COH Staff



- 1% Annual Chance Flood Hazard
- Regulatory Floodway
- Special Floodway
- Area of Undetermined Flood Hazard
- 0.2% Annual Chance Flood Hazard

Frequently reported flooding areas:

- Mark Twain Dr
- Weaver HS
- Granby St Conduit Inlet (Nahum Dr / Burnham St / Granby St)
- UHART
- Granby St
- Cornwall St
- Lyne St
- Palm St

# 1934 Photo North of Albany Ave

- Unnamed stream currently in 108" pipe (Granby St Conduit) was a natural channel
- No development between river and railroad tracks
- No development between Granby St and railroad tracks
- No Mark Twain Drive
- No UHART



1934



2010



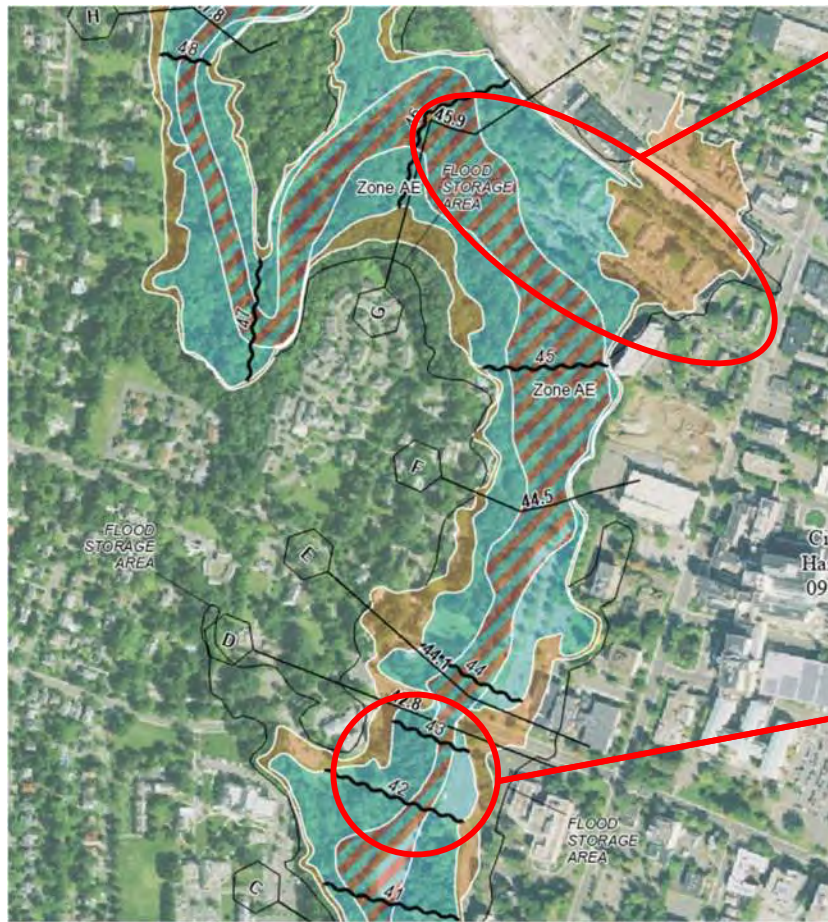
**DEVELOPMENT:**  
More impervious cover  
More stormwater runoff  
Less infiltration  
Less evapotranspiration





# Flooding Adjacent to NBPR

# Woodland St Parking Lot, Woodland Dr Apartments



**Woodland Dr Apartments**

**Woodland St Parking**

- Flood Hazard Zones
- 1% Annual Chance Flood Hazard
  - Regulatory Floodway
  - Special Floodway
  - Area of Undetermined Flood Hazard
  - 0.2% Annual Chance Flood Hazard

# Scarborough St Flooding

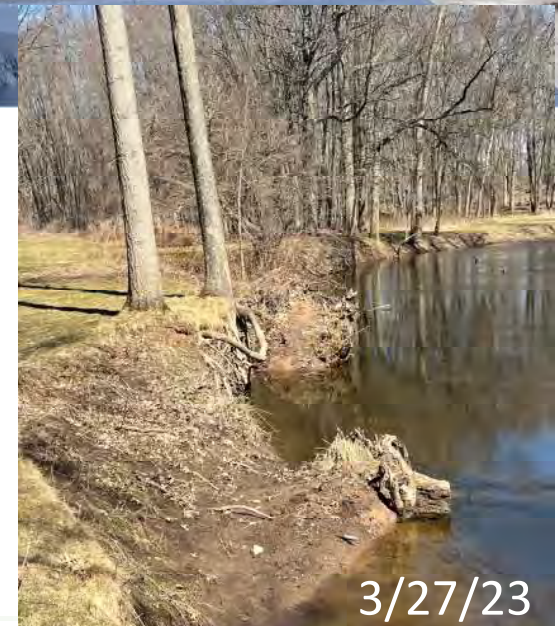
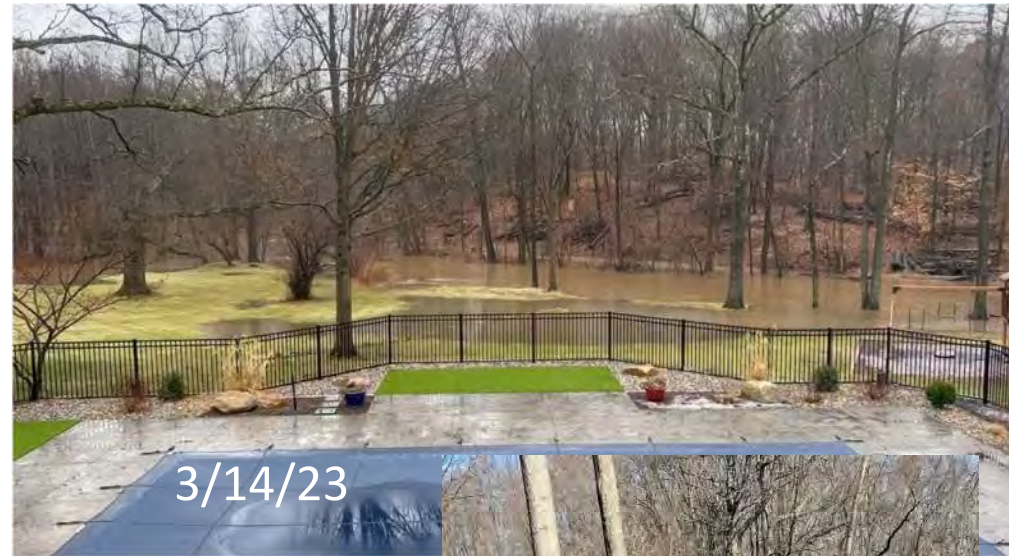
- NBPR floods on to properties
- Buildings built in 500-year flood plain
- Yards, pools, tennis court built in 100-year flood plain



150 Scarborough St

## Flooding Example: 150 Scarborough St - Backyard

- NPBR flooding into yard
- Riverbank erosion
  - Property owner claims a 5-10' loss of property
- NBPR section owned by private properties
- If NBPR improved and regularly maintained, up to 2-foot reduction of flooding height
  - Less frequent
  - Smaller impact area



# Mark Twain Drive Flooding



- Flood plain of NBPR
- Unnamed stream through Mark Twain Drive Culvert
  - Size and maintenance

# Mark Twain Drive Culvert – Maintenance



Looking downstream, toward Mark Twain Drive  
Field Visit June 3, 2024



# University of Hartford (UHART) Flooding

- Lower-lying parking lots flood
- UHART policy that owners are parking at their own risk

**UNIVERSITY OF HARTFORD**  
DEPARTMENT OF PUBLIC SAFETY

Certain Areas of campus are prone to flooding in heavy rains and weather events, including parking areas. The University of Hartford is not responsible for any damage or loss of motor vehicles or personal property contained in any motor vehicle on campus. Vehicle operators are responsible for familiarizing themselves with current parking rules and regulations. If you are assigned to a parking area that is prone to flooding in heavy rains, it is your responsibility to remove your vehicle from the area in the event of an actual or anticipated flooding occurrence. The University reserves the right in its full discretion to



# Flooding between Railroad Tracks and Granby St





# Flooding Between Granby St and Railroad

- Railroad tracks built before homes on Granby St
- Depressed area between the tracks and the houses does not have proper drainage
- Residents experience flooding on their private property
- In TV report, residents state that is not a new problem, but something that has been prevalent for decades






Railroad  
Berm



217 Granby St  
(built 1955)

# FLOODING HELP IN HARTFORD

HARTFORD ... WHO WERE  
HIT HARD BY STORMS...  
OVER THE SUMMER...

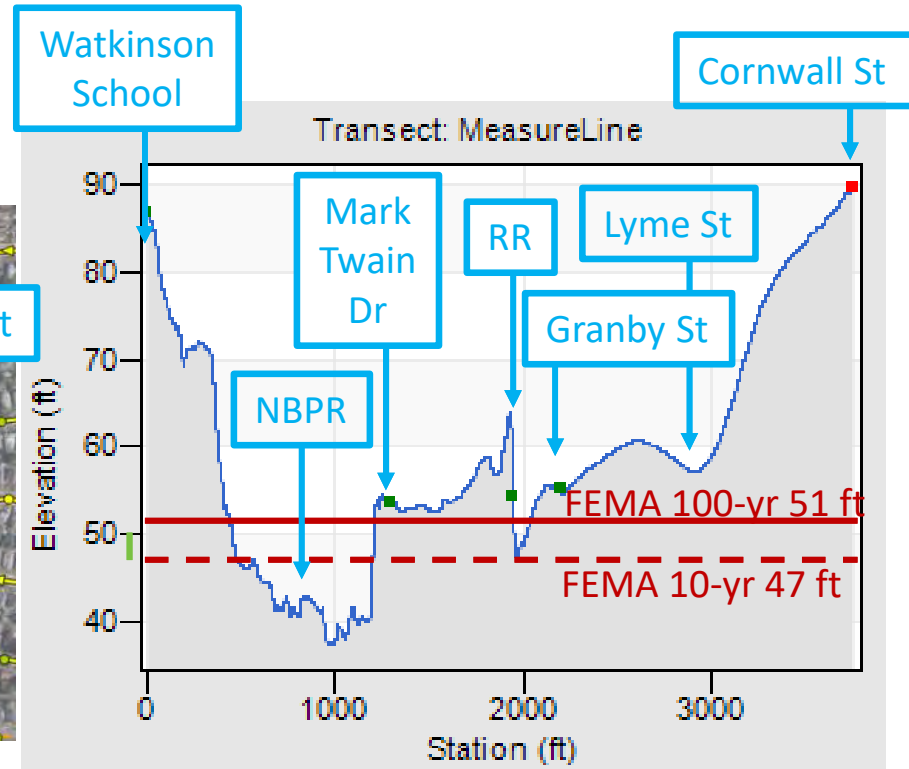
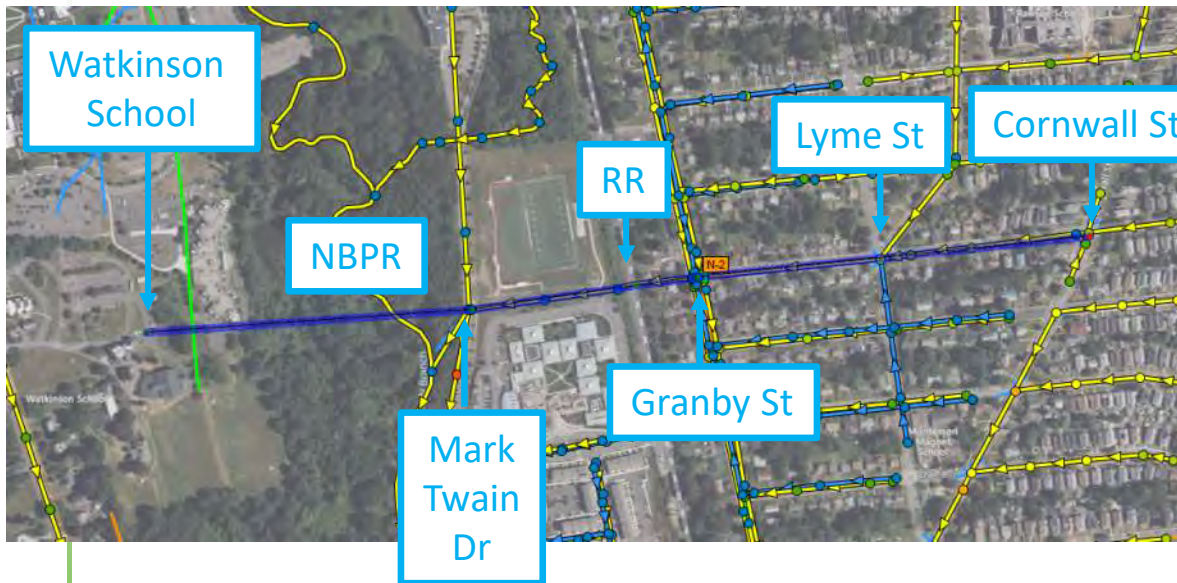
   NBCConnecticut

11:09 29°



# River Transect near N-2/Granby 1 Outfalls

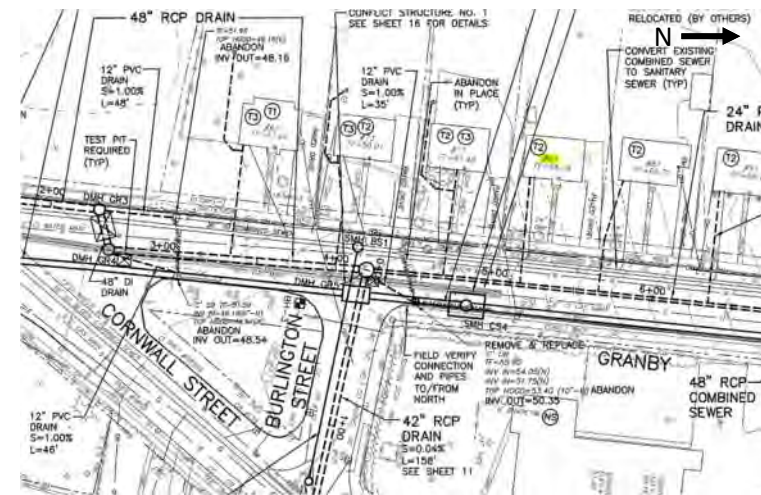
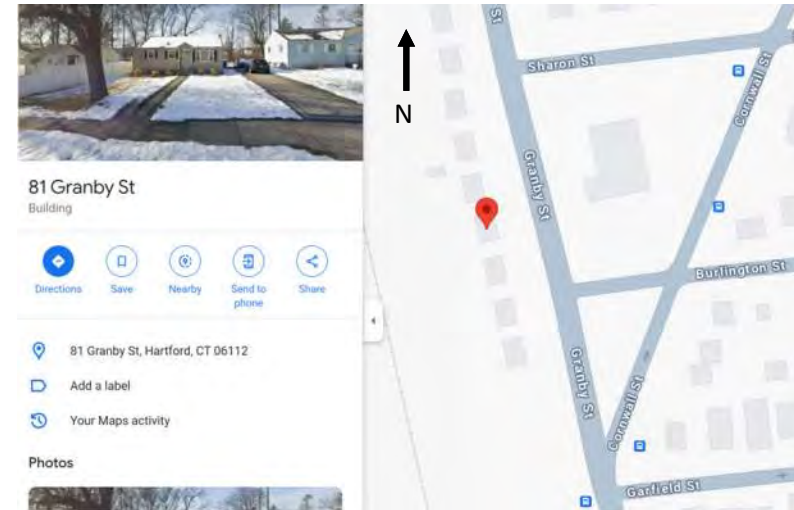
## Transect Location



Elevations from Hartford 1-ft DEM  
NBPR bottom ~33-36 ft

# 81 Granby St

- Located near the intersection of Granby St /Cornwall St / Burlington St
- Separated area with drains connected to N-4 outfall (MDC Granby 5 project)
- Railroad tracks berm in the backyard contributing to flooding (tracks higher than Granby St)
- City hired Freeman Engineers to design storm drainage system to relieve backyard flooding and connect to Westbrook Village
- DOT requested drainage study to determine capacity and license agreement for maintenance
- City needs to coordinate with MDC on where to discharge drainage
- Similar localized flooding as previous backyard flooding example

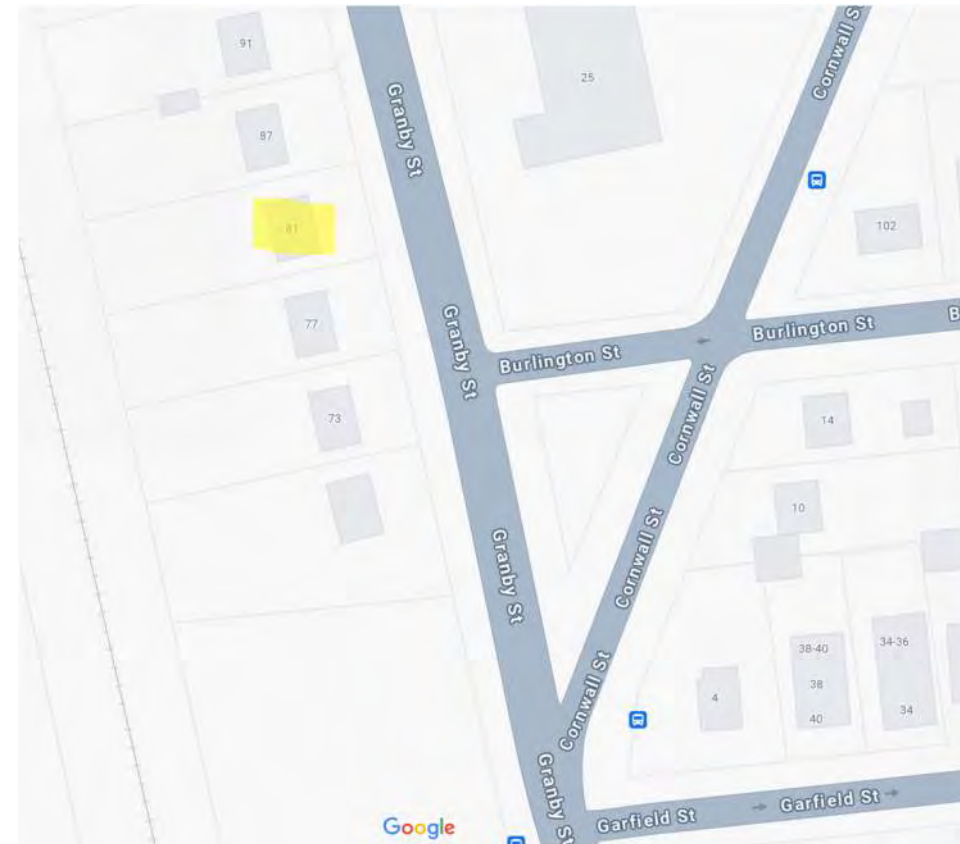


# Burlington St / Cornwall St / Granby St

- Fire department rescue people from cars
- Reports of flooded basements
- Made the national news Aug 2019



<https://www.fox61.com/article/news/local/outreach/awareness-months/mdc-releases-statement-on-recent-hartford-flooding-that-left-people-stuck-in-flood-waters/520-602e6be2-fd71-41c8-96e4-3f240f67ed96>



# Cornwall Street / Granby Street Flooding

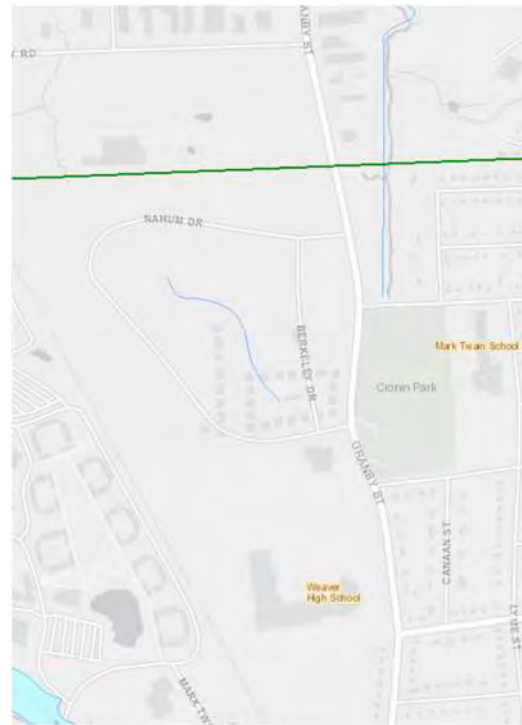
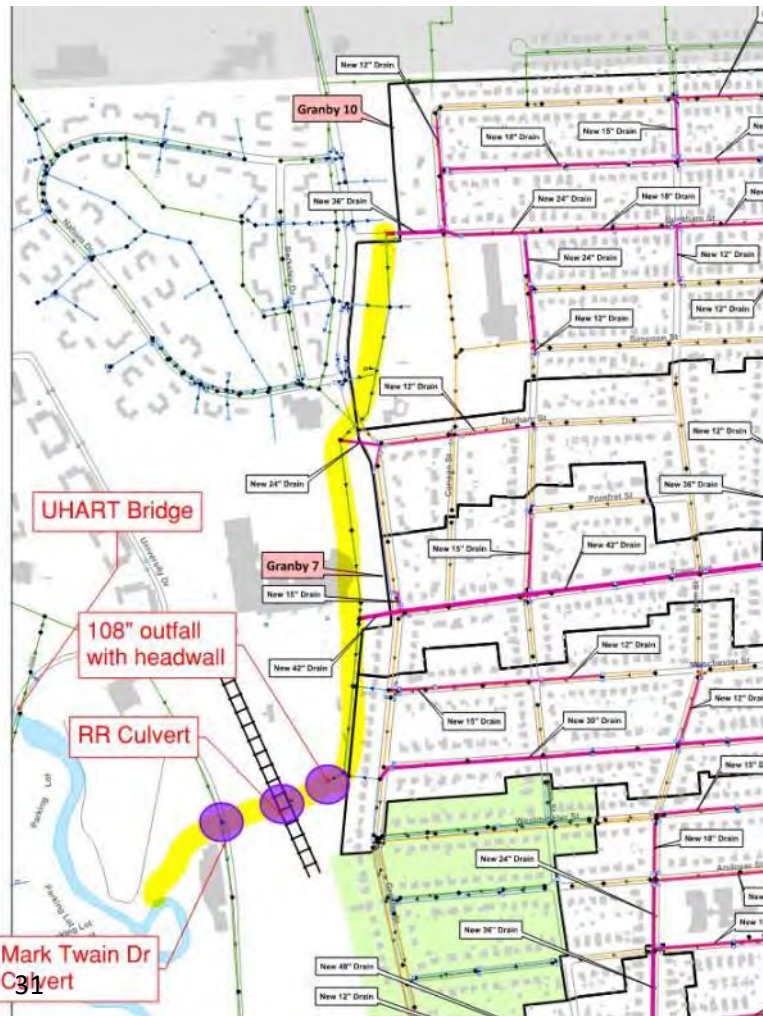
N-4





# Flooding at Granby St Conduit

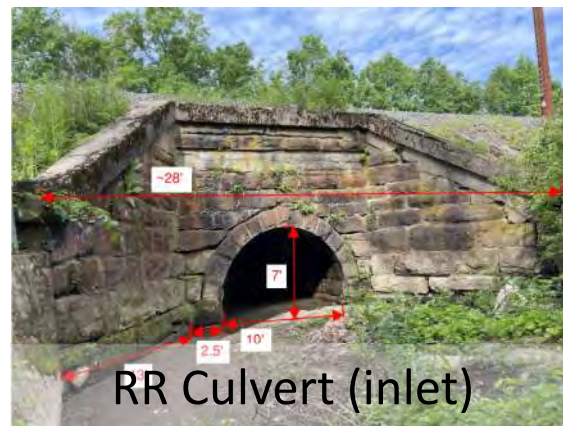
# Unnamed Stream / City-owned 108" Granby St Conduit



Two unnamed streams were culverted in the Granby St Conduit from south of the Bloomfield Town line to an outlet south of Weaver HS fields, pipe diameter from 90" to 108"



# Granby Street Conduit – 108” Outfall and Trapezoidal Channel



# Granby Street Conduit – upstream end

- Located in Granby Street near Nahum Drive/ Boys and Girls Club (area that frequently floods)
- City removed large trees from 96" pipe
- Sediment was not removed



# Flooding Granby St Conduit Inlet

## Nahum Dr / Granby St / Burnham St Area



# Upland Flooding



# Upland Flooding Reports – MDC combined sewer



Flooding Reports on Cornwall St, Lyme St, Morningside St, Palm St

- MDC Sewer Separation will improve conditions
  - New storm drain pipes for a 10-year design storm (DOT standard)
  - New storm drain lateral to each property for sump pump connection
  - Will not provide yard drain connections
  - Will still require regular catch basin cleaning and street sweeping



# Field Investigation Findings and Recommendations

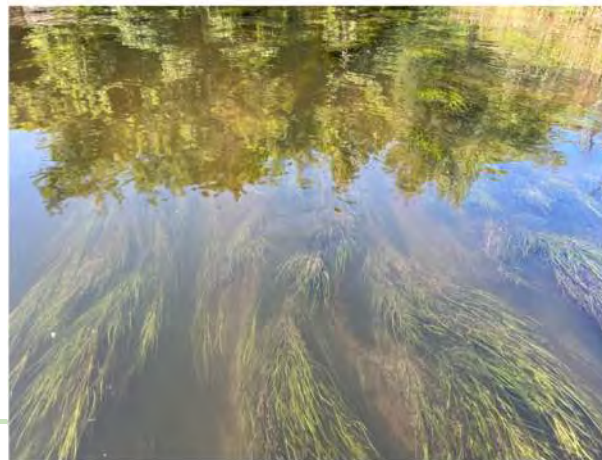
# Field Work Summary

- Walked the river within limits
  - Between 8/23/23 – 10/2/23
  - Identified erosion, bank collapses, sedimentation, tree dams, etc.
  - See handouts for more info, photos
- Drone flyover
  - Between 9/8/23 – 9/22/23
  - Identified tree and debris dams
- Sediment Sampling
  - Between 11/13/23 – 11/16/23
  - Collected 22 sediment samples



# Field Investigation Findings - PRC Entrance

- Entrance blocked by debris
- Sedimentation and submerged vegetation
- Most significant sediment depth found here

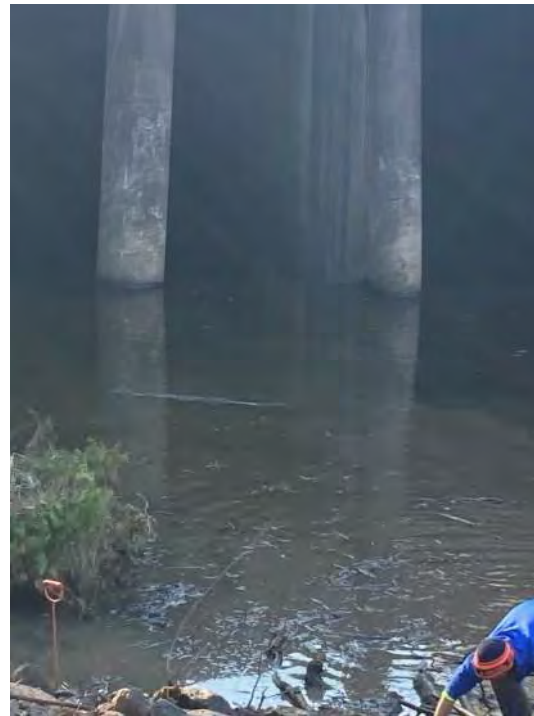




# Park River Conduit (PRC) Inlet



Debris dam at start August 23, 2023



PRC during cleaning, Nov 6, 2023



Debris dam after cleaning, May 28, 2024

# Field Investigation Findings

- Tree Dams:
  - Lots of tree dams and downed trees, collecting trash (see handout, Figure 2)
  - North of Albany Ave had the most tree dams within the project area, and most tree canopy



# Field Investigation Findings

- Undercut banks: undermines trees on the banks causing them to eventually fall in and mobilize downstream
- Near vertical banks: cuts off river from flood plains and causes flows to reach downstream much quicker, **increasing the chances of flooding and erosion**



# Field Investigation Findings

- Structures in Floodplain:  
Many adjacent properties have structures (pools, playsets, patios, etc.) located within floodplain, and no forested buffer; grass right up to banks



Backyard of 150 Scarborough St

# Field Investigation Findings

- Sediment Sampling:
  - 23 samples collected for geotechnical and environmental testing
  - Depths range from 4"-18"
  - See handout Figure 4
  - Highest accumulation near PRC, and other localized areas



# Recommendations for City

## Further Study:

- Complete bathymetry survey
- Model river with HEC-RAS
- Install more stream gauges (currently only 1 at Albany)
- Install WaterCAST sensors at PRC, Asylum, UHART bridge

## Regular Maintenance:

- Remove trees/debris dams regularly (especially at PRC entrance)
- Remove leaning trees on banks
- Clean existing pipes, culverts, channels



# Recommendations for City

## **River Improvements:**

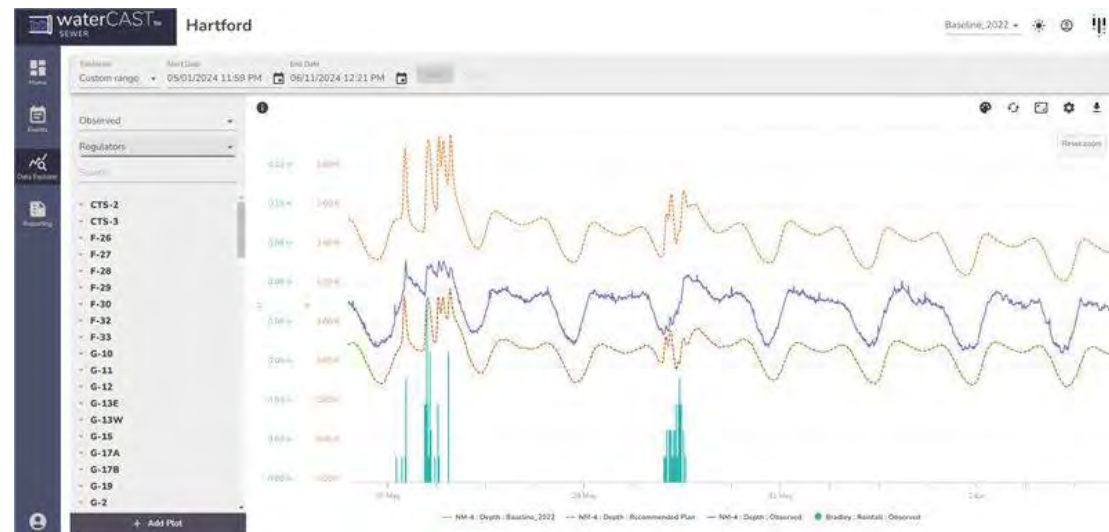
- Grade back banks to restore near-dynamic equilibrium
- Widening banks and dredging in selected locations
- Reinforce actively eroding sections with root wads or rip rap
- Increase natural floodplain storage by excavating basins
- Increase woodland floodplains by removing parking lots (Woodland St, UHART), MS4 benefit
- Construct berms around flood prone properties (ex: University High School of Science & Engineering on Mark Twain Dr)

## **Education and Planning:**

- Educate property owners on floodplains and forested buffers (Scarborough St)
- Do not allow further development in floodplain
- Relocate housing out of floodplain via land purchases (Woodland Dr), MS4 benefit

# WaterCAST - River Monitoring

- Install sensors at various locations to monitor river elevation
- If sensors detect abnormal/ rising river elevation, automatic alert sent to City to have the area checked for blockages and cleaned
- Can correlate with weather
- Potential locations:
  - PRC entrance
  - Bridges (UHART, Albany, Asylum)





# Sewer Separation



# Sewer Separation

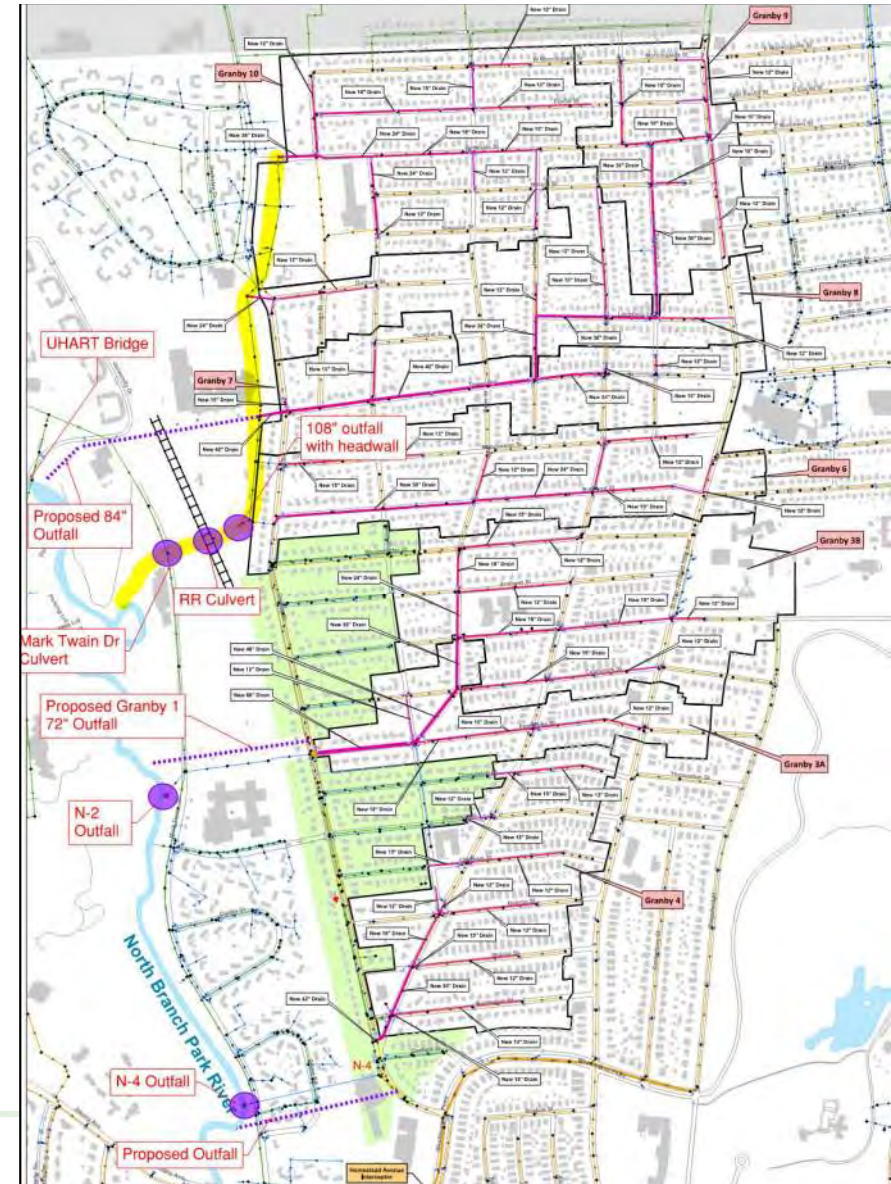
- Current MDC system is combined sewers – a single pipe for both sewage and storm
- Proposing installation of new drains to separate the systems



*Addressing flooding between RR tracks and houses may require improvements to existing private systems and/or connections to outfall pipes*

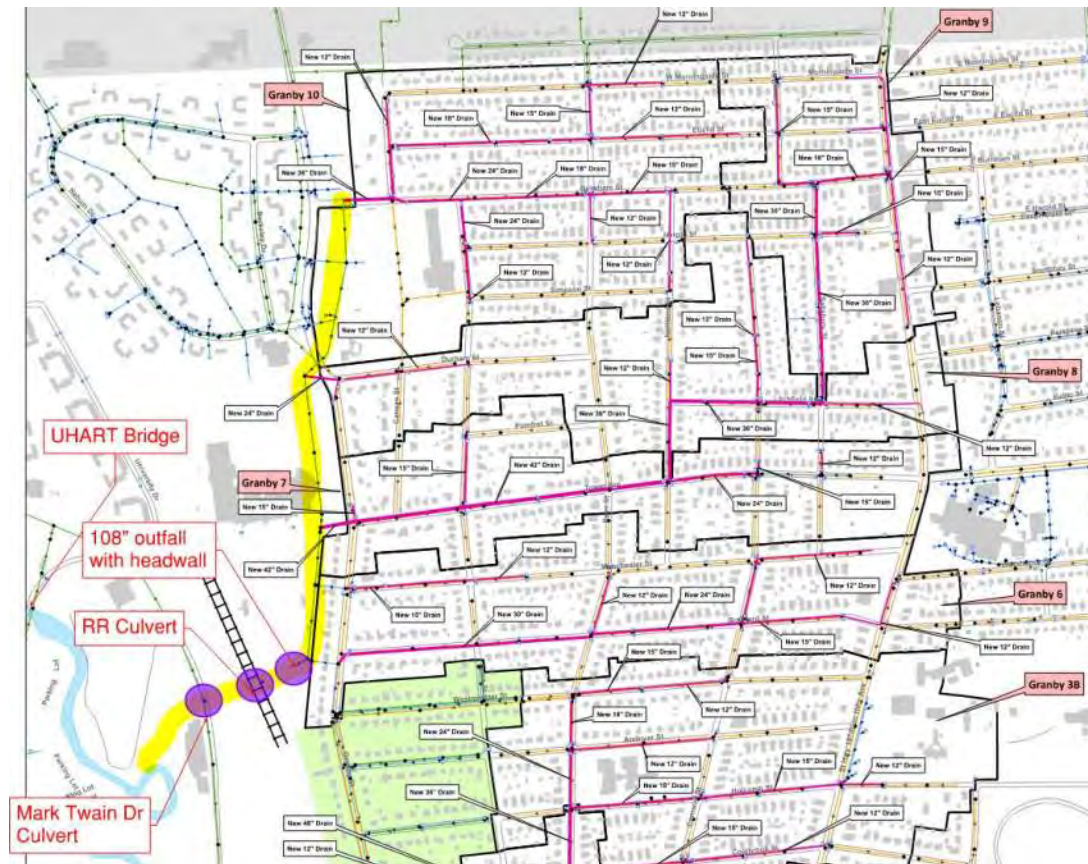
# Granby Area Separation

- Existing Outfalls:
  - 108" Granby St Conduit
  - Combined sewer overflow (CSO) N-2
  - Combined sewer overflow (CSO) N-4
- *Additional Stormwater Outfalls:*
  - 84" outfall near Tower Ave / Weaver HS
  - 72" outfall between 227 and 233 Granby St (previously designed and permitted "Granby 1")
  - 72" to 84" outfall from 45 Granby St: Westbrook Village easement or pumping station with force main



# Unnamed Stream / Granby St Conduit / 108"

- MDC's Long-Term Control Plan proposed connecting new drains to 108" Granby St Conduit
- CCTV maintenance recommendations
- Site Visit maintenance recommendations

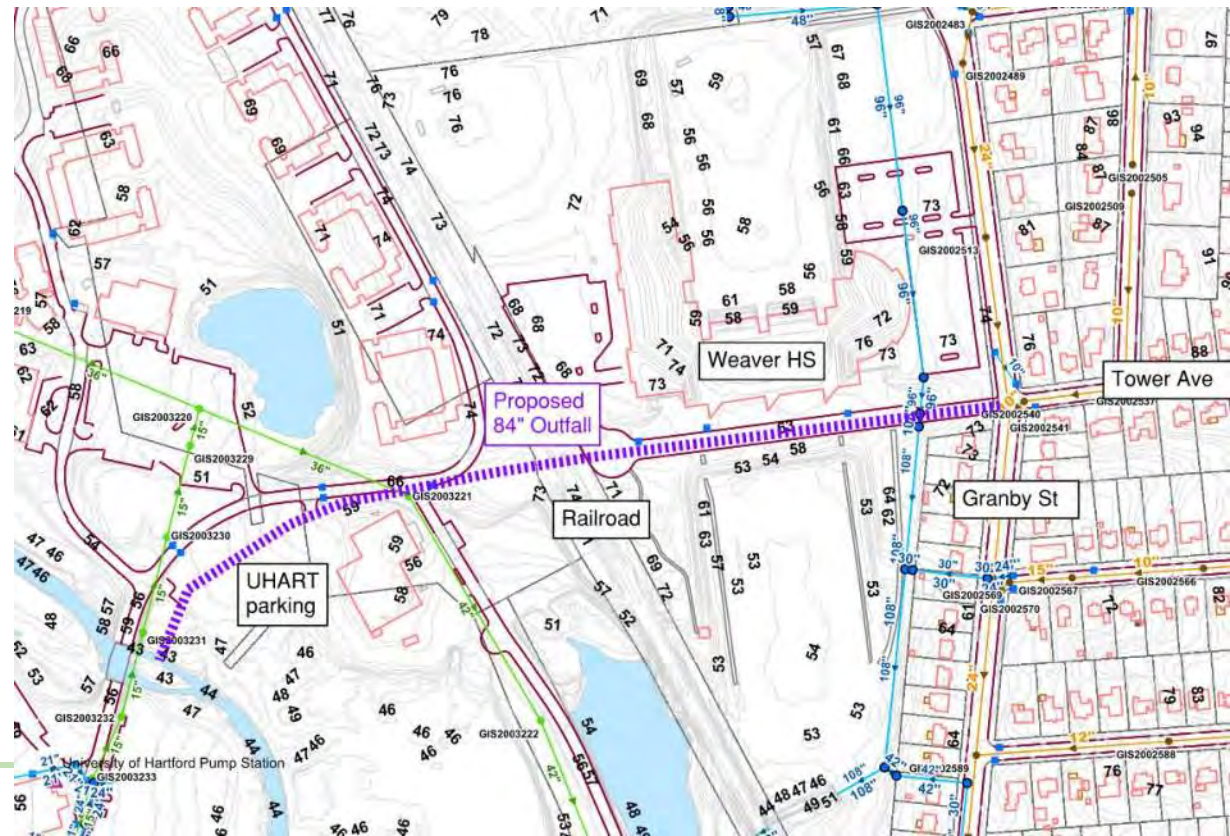


## Unnamed Stream, 108" Granby St Conduit

- Needs maintenance to address current flooding issues
- New drains could connect to this conduit if the pipe was better maintained and not already causing flooding
- Currently proceeding with **new drain outfall** for this area unless City can clean and improve the existing pipe because don't want to exacerbate flooding
- Will cause delay to schedule for separation in area as outfall would need to be built first

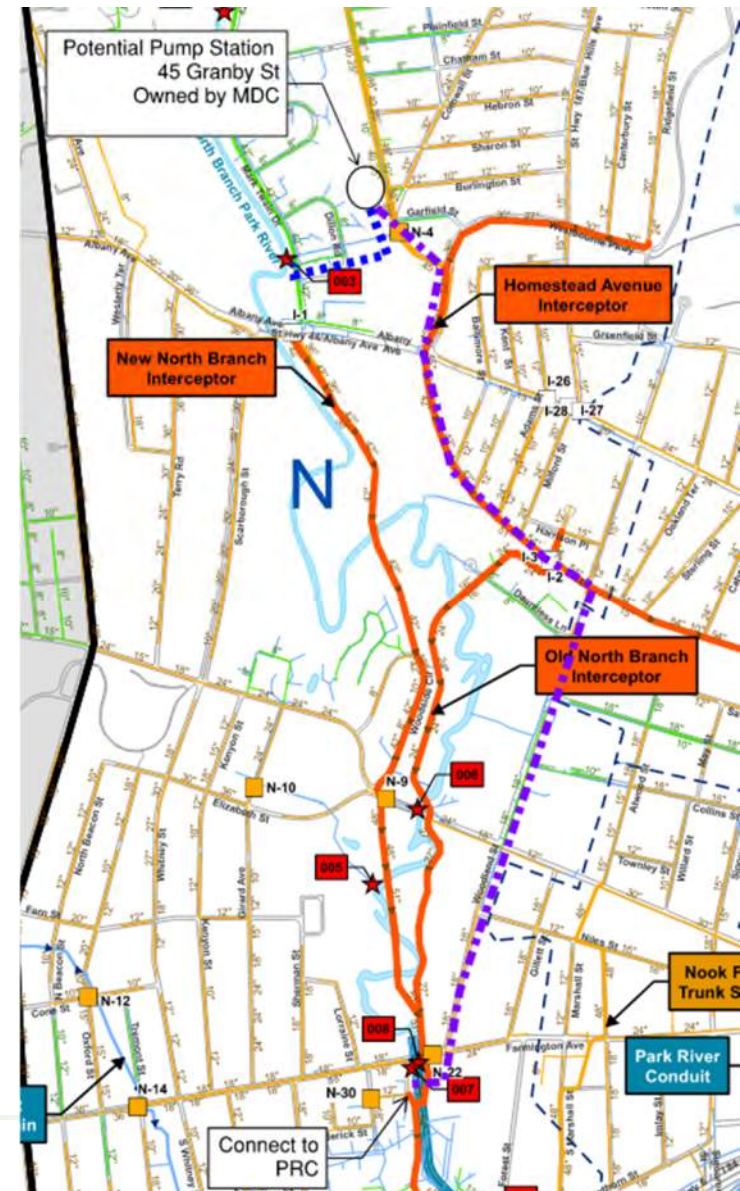
# Potential New Northern Outfall

- Convey flow from Granby 7, 8, 9, 10 to NBPR by gravity
- 84" pipe and new outfall



# Stormwater Pumping Station

- Separation could worsen flooding along river
- If river improvements are not made, pump station (PS) may be needed
- PS Location: 45 Granby St, owned by MDC and adjacent to N-4
- Force main Option 1: 45 Granby St to NBPR through Westbrook Village
- Force main Option 2: 45 Granby St to Park River Conduit south of Farmington Ave (1.6 miles)



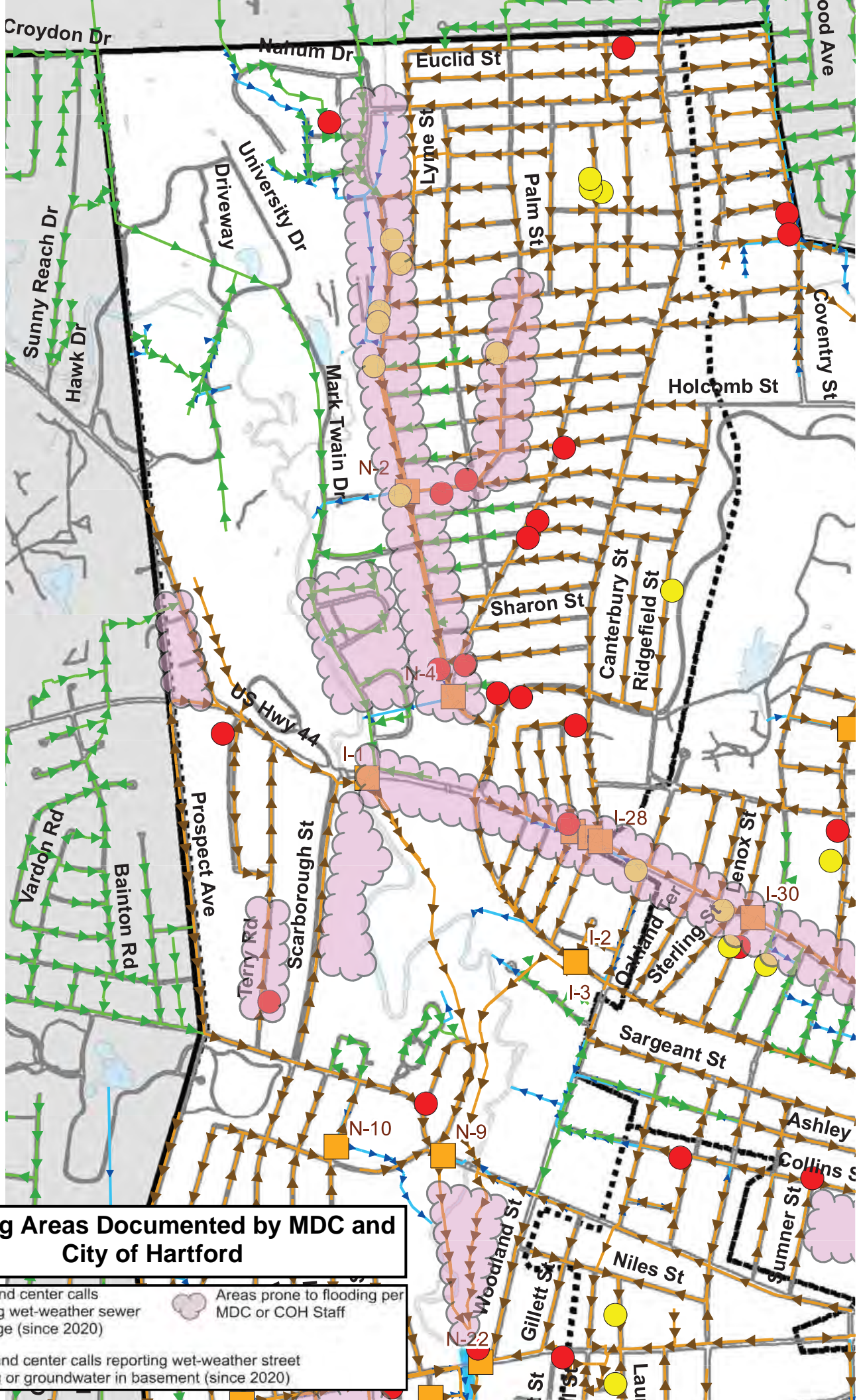


## Next Steps



## Next Steps

- Finalize river recommendations and costs for NBPR and Unnamed Stream (108" Granby St Conduit) for City
  - NBPR and unnamed stream improvements
  - Perform regular maintenance
- Sewer separation preliminary design for MDC
  - Finalize outfall locations
  - Layout new drain pipes



### Flooding Areas Documented by MDC and City of Hartford

- Command center calls reporting wet-weather sewer surcharge (since 2020)

● Command center calls reporting wet-weather street flooding or groundwater in basement (since 2020)

☁ Areas prone to flooding per MDC or COH Staff



Figure 1. North Branch Park River Study Area Overview  
 MDC Blue Hills/Granby Drainage Study  
 North Branch Park River Field Study  
 Hartford, CT



0 1,000 2,000 4,000 Feet

Figure 2. North Branch Park River Fallen Trees/Debris Overview  
 MDC Blue Hills/Granby Drainage Study  
 North Branch Park River Field Study  
 Hartford, CT





Figure 4. North Branch Park River Sediment Sampling/Deposition Map  
MDC Blue Hills/Granby Drainage Study  
North Branch Park River Field Study  
Hartford, CT

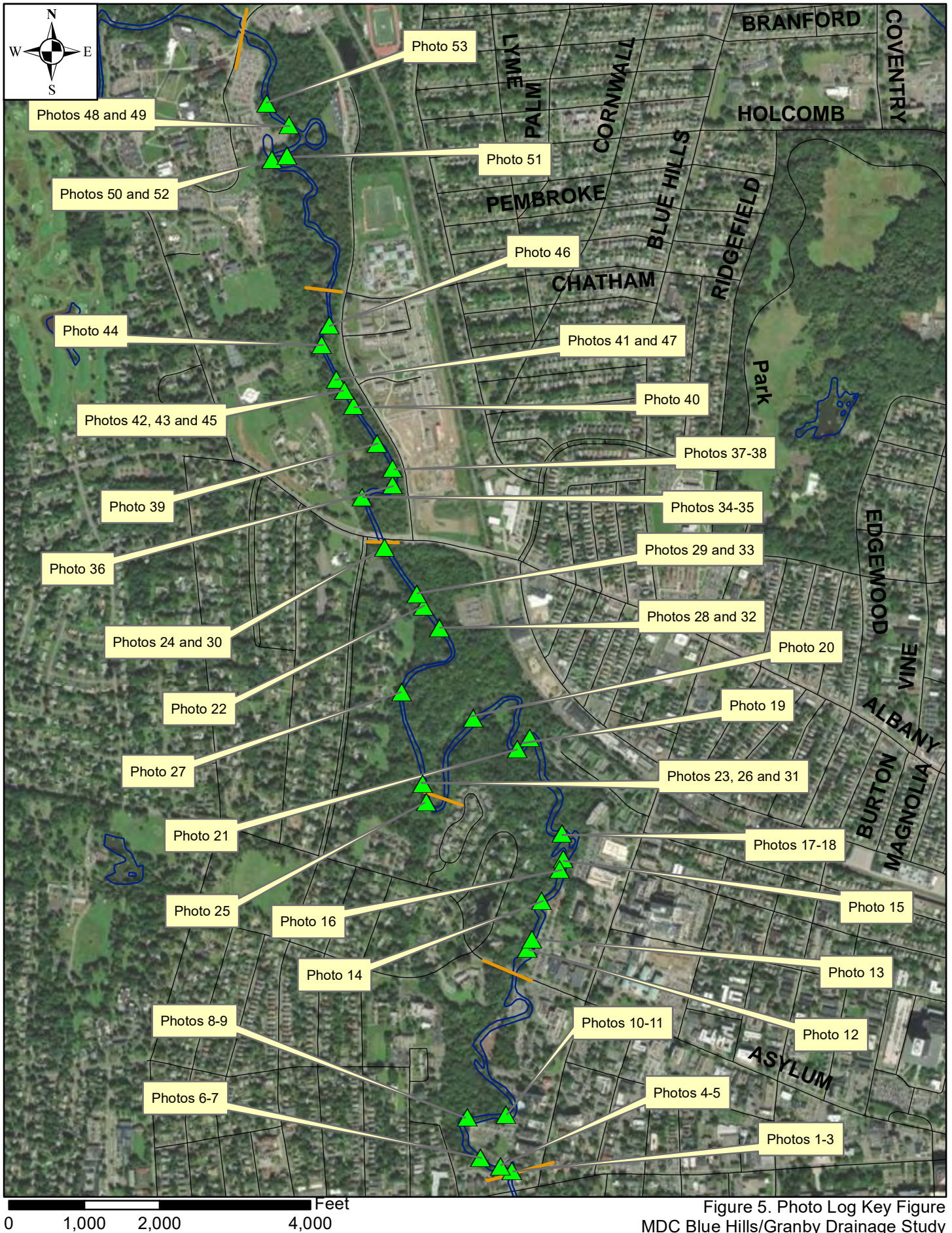


Figure 5. Photo Log Key Figure  
 MDC Blue Hills/Granby Drainage Study  
 North Branch Park River Field Study  
 Hartford, CT

# Attachment A

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## Site Photographs



**Photo 1: Debris dam at start of Segment 1, Park River Conduit (See Figure 3-1, TD-1).**



**Photo 2: Water pooling directly upstream of Park River Conduit (Segment 1).**





**Photo 3: Vegetation island to the upper left of this photo, submerged aquatic vegetation visible (Segment 1).**



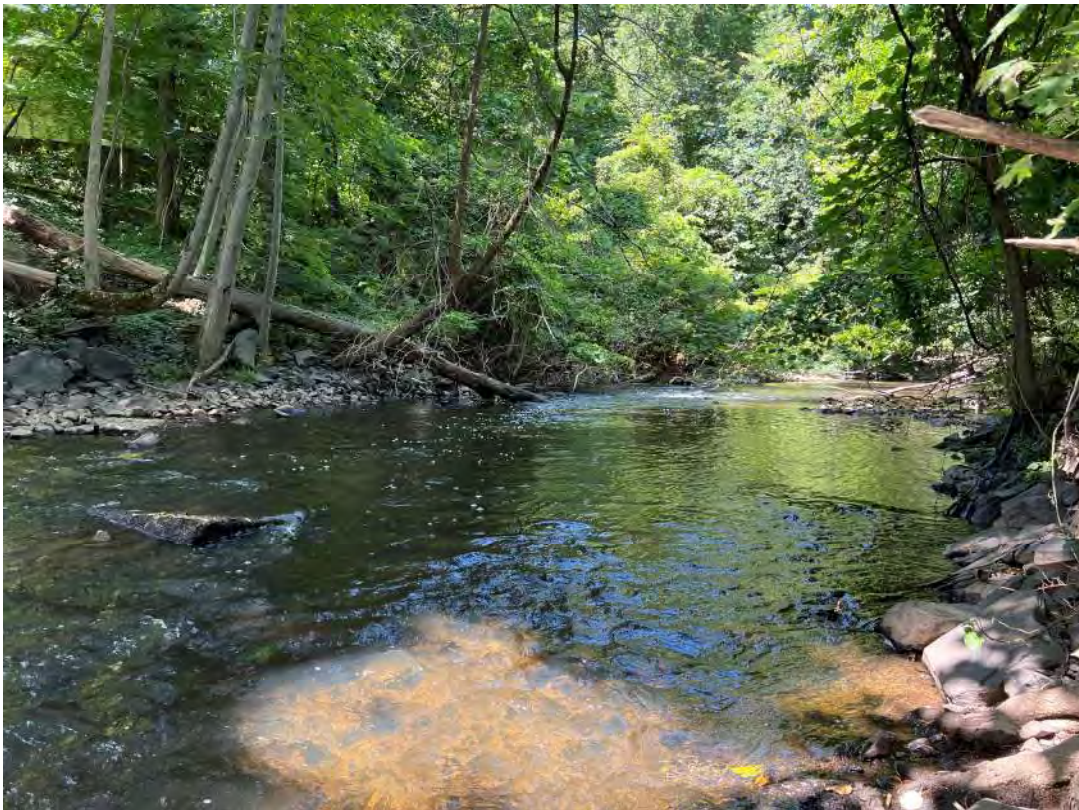
**Photo 4: Second type of submerged aquatic vegetation located approximately 80-feet west (upstream) of the Park River Conduit (Segment 1).**



Photo 5: Segment 1 with chain link fence over rip rap armor.



**Photo 6: Small-gauge rip rap/naturalized rock channel with areas of riffles and runs and vegetated, gently sloping banks (Segment 1).**



**Photo 7: Adjacent to GPS S1DP2, depicting typical river conditions in first portion of Segment 1.**



**Photo 8: Adjacent to S1DP3, facing west. Large boulders appear placed on bottom, vertical exposed/eroded banks.**



**Photo 9: S1DP3 facing south, trees in river in Segment 1 (see Figure 3-1, TD-2).**



**Photo 10: Debris dam behind 21 Woodland Street within Segment 1 (See Figure 3-1, TD-3).**



**Photo 11: Downed tree and debris dam behind 21 Woodland Street (Segment 1).**



**Photo 12: Tree debris within river Segment 2 (see Figure 3-2, TD-5).**



**Photo 13: One of many areas of downed trees in Segment 2 (see Figure 3-2, TD-6).**



**Photo 14: Tree debris in river in Segment 2 (see Figure 3-2, TD-7).**





**Photo 15: Downed tree within Segment 2, in both main channel and on braided channel at top of photo (see Figure 3-2, TD-8).**



**Photo 16: The river becomes a braided channel north of Woodside Circle, and converges back to a single channel west of 129 Woodland Street (Segment 2, see Figure 3-2, TD-8).**



**Photo 17: Tree dam downstream of dam looking west (Segment 2, see Figure 3-2, TD-9).**



**Photo 18: Tree dam upstream of dam looking southeast (Segment 2, see Figure 3-2, TD-9).**



**Photo 19: One of many areas of downed trees in Segment 2 (see Figure 3-2, TD-10).**



**Photo 20: Typical river and bank conditions in Segment 2.**



**Photo 21: Segment 2 conditions, adjacent to S2DP15.**



**Photo 22: Typical conditions within Segment 3 for first 2/3 of the segment.**



**Photo 23: Typical conditions within Segment 3 for first 2/3 of the segment.**



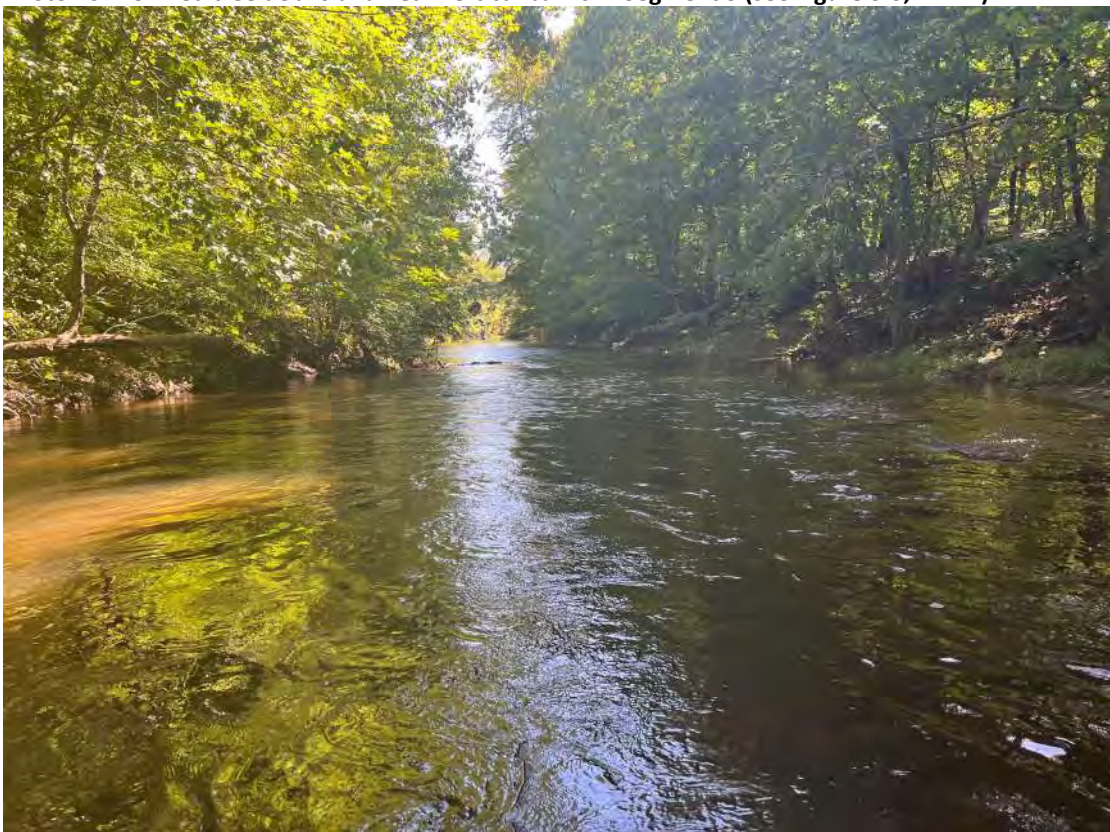
**Photo 24: Northernmost portion of Segment 3 where the river becomes shallower and with a higher prevalence of cobble and rock in the riverbed.**



**Photo 25: Downed trees, debris dam within Segment 3 (see Figure 3-3, TD-11).**



**Photo 26: Downed tree debris and near vertical banks in Segment 3 (see Figure 3-3, TD-12).**



**Photo 27: Tree debris in Segment 3 (see Figure 3-3, TD-13).**



**Photo 28: Example of downed trees in Segment 3 (see Figure 3-3, TD-14).**



**Photo 29: Tree debris and near vertical banks in Segment 3 (see Figure 3-3, TD-15).**





**Photo 30: Tree debris in Segment 3 (see Figure 3-3, TD-16).**



**Photo 31: Example of near vertical banks on the opposite bank in Segment 3.**



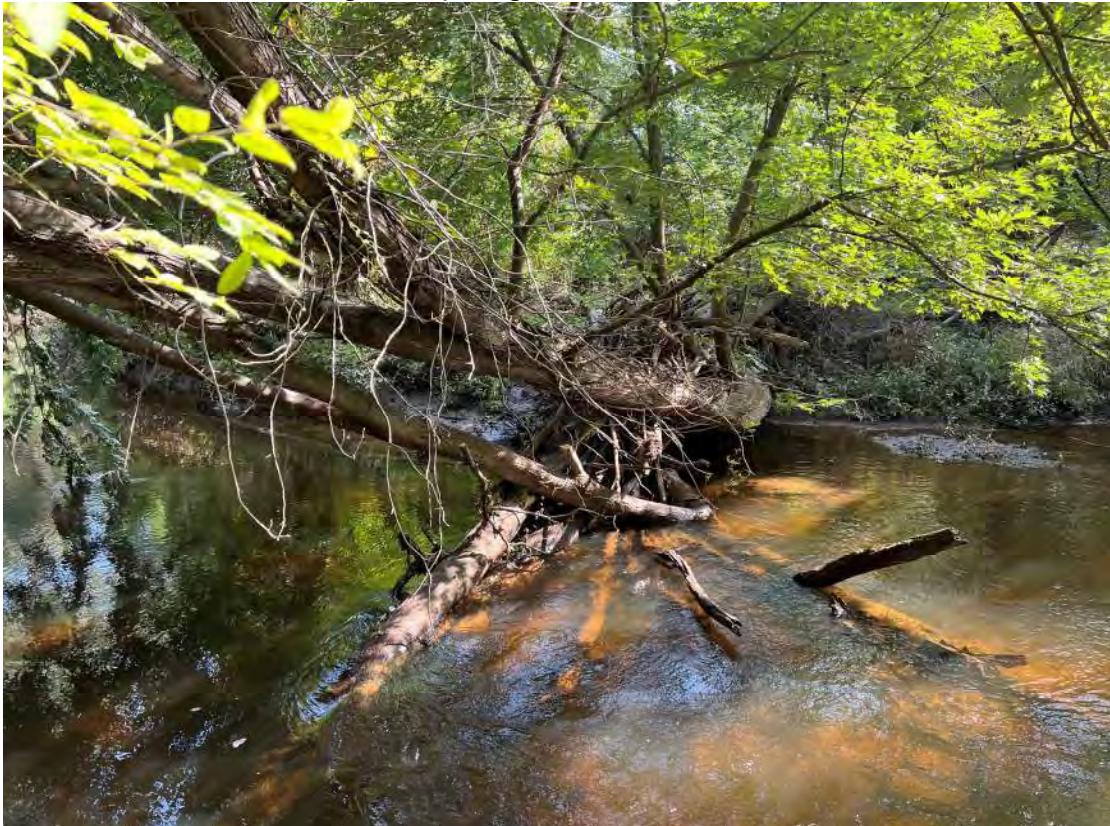
**Photo 32: Example of near vertical banks on the opposite bank in Segment 3 (also TD-14 on Figure 3-3).**



**Photo 33: Example of near vertical banks on the opposite bank in Segment 3.**



**Photo 34: Tree debris within Segment 4 (see Figure 3-4, TD-17).**



**Photo 35: Tree dam within Segment 4 (see Figure 3-4, TD-18).**



**Photo 36: Tree debris/dam in Segment 4 (see Figure 3-4, TD-19).**



**Photo 37: Bank failure conditions, down trees, undercut banks in Segment 4 (see Figure 3-4, TD-20).**



Photo 38: Typical conditions in Segment 4.



Photo 39: Tree dam in Segment 4 (see Figure 3-4, TD-21).



**Photo 40: Typical conditions in Segment 4.**



**Photo 41: Typical conditions in Segment 4.**



Photo 42: Downed trees in Segment 4, trees creating debris dam (see Figure 3-4, TD-22).



Photo 43: Downed trees in Segment 4, trees creating debris dam (see Figure 3-4, TD-23).



**Photo 44: Downed trees within Segment 4 (see Figure 3-4, TD-24).**



**Photo 45: Bank failure and downed trees in Segment 4 (additional view of TD-22).**





**Photo 46: Undercut banks/trees, nearly vertical banks, bank failure, fallen trees in Segment 4 (additional view of trees in area of TD-23).**



**Photo 47: Eroded, steeply sloped banks, undercut trees/roots, bank failure in Segment 4.**



**Photo 48: Typical conditions in Segment 5.**



**Photo 49: Typical conditions in Segment 5.**



**Photo 50: Overtopped banks within Segment 5.**



**Photo 51: Overtopped banks within Segment 5.**



**Photo 52: Overtopped banks within Segment 5.**



**Photo 53: Clearing along riverbank adjacent to parking lot.**

**BAKER HOLLOW ROAD, WINDSOR  
DEVELOPER'S PERMIT AGREEMENT AND REQUEST FOR  
REIMBURSEMENT AGREEMENT**

To: Bureau of Public Works

August 21, 2024

On December 19, 2022, The Metropolitan District received an application from the town of Windsor, through its Town Engineer, Robert Jarvis, P.E., requesting permission for the Town, acting as the Developer, to construct, at its expense under a Developer's Permit-Agreement, approximately 1,626 feet of 10-inch sanitary sewer, manholes and laterals in a portion of Baker Hollow Road, from 105 Baker Hollow Road east to Marshal Phelps Road. The sewer is being constructed as part of the Baker Hollow Road Reconstruction Project, in part to promote commercial, business and industrial development along that portion of Baker Hollow Road.

By virtue of this proposed sanitary sewer passing by property of others, a public hearing or waivers for a public hearing were required under Section S1d of the District's Sewer Ordinances. The waivers were received from the three affected property owners on June 5, 2023.

The Developer, the Town of Windsor, has requested reimbursement of the MDC's linear foot frontage charge (presently, \$110.50 per linear foot of frontage, but subject to change) collected by the District for future connections to the Town-built sewer by other property owners along Baker Hollow Road, as provided for in Section S7n of the District's Sewer Ordinances. The reimbursement only applies to connections over the next ten years, and the aggregate reimbursement amount will not exceed the certified cost of construction of said sanitary sewer and appurtenances, as confirmed by affidavit submitted by the Town of Windsor.

The Bureau of Public Works has in the past granted member towns permission to construct sanitary sewers in targeted areas to promote development, and in conjunction therewith, has granted to said towns reimbursement for its costs in accordance with Ordinance (S7n), thus providing the towns with a method of recovering a portion of their construction costs for the sanitary sewer installation.

After consideration of the above, it is **RECOMMENDED** that it be

Voted: That permission be granted to the Town of Windsor to construct, under a Developer's Permit Agreement, approximately 1,626 feet of 10-inch sanitary sewer and appurtenances in a portion of Baker Hollow Road, in accordance with plans approved by the Director of Engineering and Planning, which sanitary sewer and appurtenances are to be incorporated into the public sewer system when accepted by the Metropolitan District, provided that, prior to construction, as has been allowed in the past with other member towns developing sewers, no payment for outlet charges will be declared due and payable prior to construction of said sewer; however, all lands abutting the said sewer be subject to monetary charges in effect at the time of development or connection; and that the Developer has eleven months

from the date of the Bureau action to enter into and execute the Developer's Permit- Agreement.

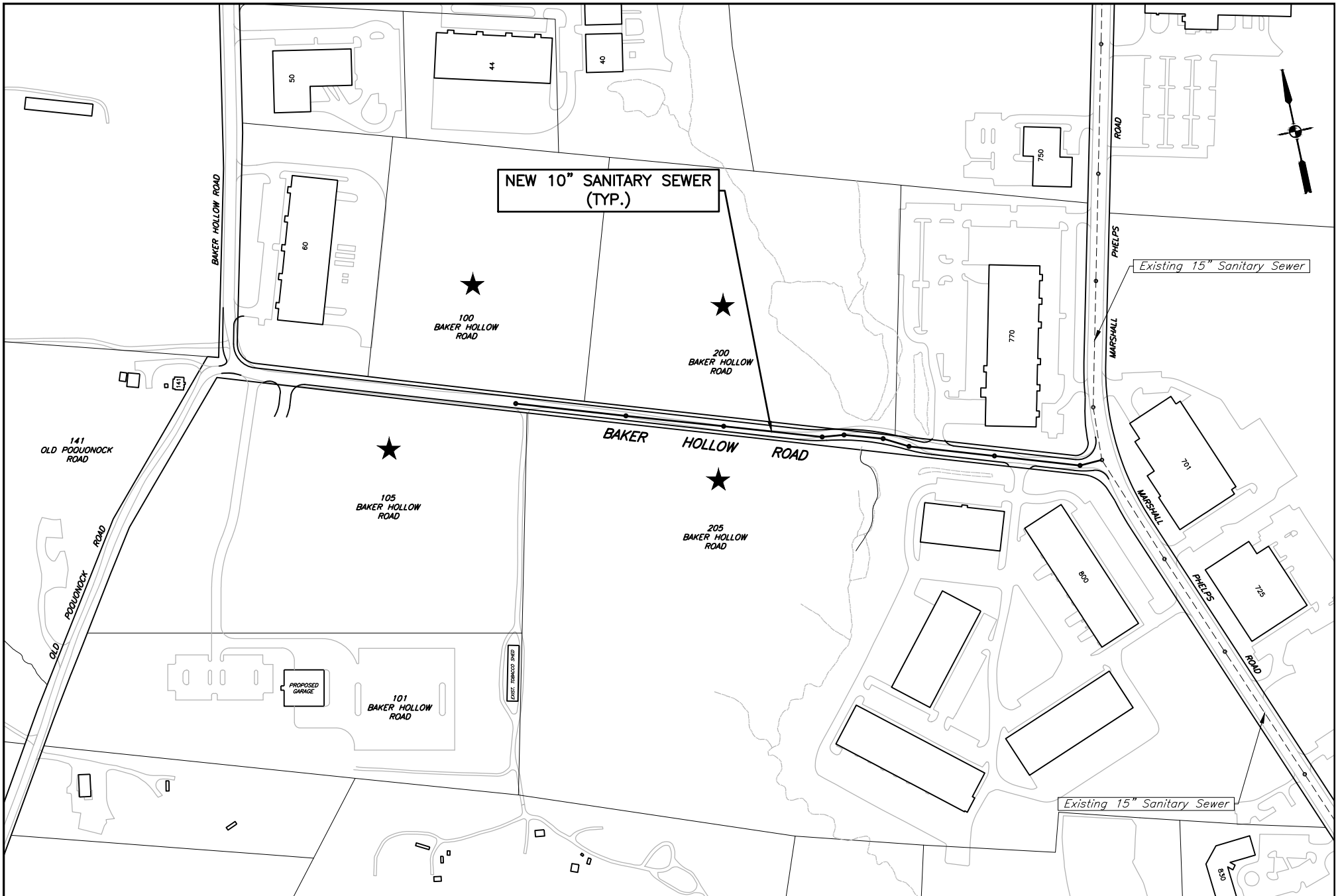
And  
Voted:

That, pursuant to Section S7n of the District's Sewer Ordinances, the Developer's Permit-Agreement shall provide for reimbursement from the District to the Developer for a ten (10) year period of the frontage charge component of any connection charges collected, on land directly connected to this proposed sanitary sewer, and reimbursable under said above-referenced Ordinance. Said frontage charge component shall be computed at the rates in effect at the time a connection charge agreement is executed.

Respectfully submitted,

A handwritten signature in black ink that reads "John Mirtle". The signature is written in a cursive, flowing style.

John S. Mirtle, Esq.  
District Clerk



**NEW 10" SANITARY SEWER  
(TYP.)**

Existing 15" Sanitary Sewer

Existing 15" Sanitary Sewer

★ THIS AREA MAY BE SUBJECT TO FUTURE MONETARY CHARGES

**BAKER HOLLOW ROAD  
SEWER  
WINDSOR  
DEVELOPERS PERMIT AGREEMENT**

Fn:\Towns\Windsor\Water\BakerHollowRd\BakerHollowRd-Agenda2.dwg  
Latest Revision: 8/12/24

**TO ILLUSTRATE NEW  
SANITARY SEWER  
R-22007.02**

**ENCROACHMENT AGREEMENT  
WILSON PARK, WINDSOR**

To: Bureau of Public Works

August 21, 2024

On August 7, 2024, Suzanne Choate, P.E., Town Engineer of the Town of Windsor (“Owner”), requested an amendment be made to the previously approved resolution to grant permission from The Metropolitan District (“MDC” or “District”) to encroach on the MDC’s existing 20-foot-wide Deckers Brook Trunk Sewer easement or right-of-way, encompassing an existing 15-inch and 12-inch sanitary trunk sewer and its appurtenant infrastructure (collectively, the “Sewer”), situated on the Property (“ROW”) for the purpose of constructing and installing site improvements for and in connection with the Wilson Park Revitalization Project (the “Project”). This encroachment was previously approved by the BPW at a meeting held on March 4, 2024, the activities for which encroachment are shown on the attached map (the “Map,” and such BPW approval is hereinafter referred to as the “Prior Approval”). This request is to include the installation of an additional electrical conduit within the District’s ROW.

The proposed new work for the Project entails the installation of one (1) additional (4) four-inch electrical conduit as shown on the accompanying map (collectively, the “Improvements”). The Sewer was built in 1947 and 1949, and was rehabilitated in 1998.

MDC staff has concluded that the Improvements are minor and that there will be no detriment to the Sewer as a result, provided all the terms and conditions for these Improvements set forth in the Prior Approval and this resolution are complied with by Owner and any other party authorized by Owner to perform such Improvements.

Accordingly, a formal written encroachment agreement shall be entered into and executed by the Owner and the District, which agreement shall include the above conditions and any other conditions set forth herein, and filed on the Town of Windsor Land Records.

It is RECOMMENDED that it be

VOTED: That the Bureau of Public Works recommends to the District Board passage of the following resolution:

RESOLVED: That the Chairman or Vice Chairman of the District Board be authorized to execute an agreement, subject to: (i) all the terms and conditions for the Improvements in the Prior Approval, which terms and conditions are hereby incorporated into and made a part of this resolution, as well as: (ii) approval of form and content by District Counsel, granting permission to Owner to encroach upon the existing 20-foot sanitary sewer easement situated on the Property in order to: (i) perform the work for the Improvements in connection with the Project as shown on the plan submitted by BSC Group entitled “Wilson Gateway Park, 458 Windsor Avenue (CT-159) in Windsor, Connecticut, Restroom Add Alternate Plan (Alternate #1),

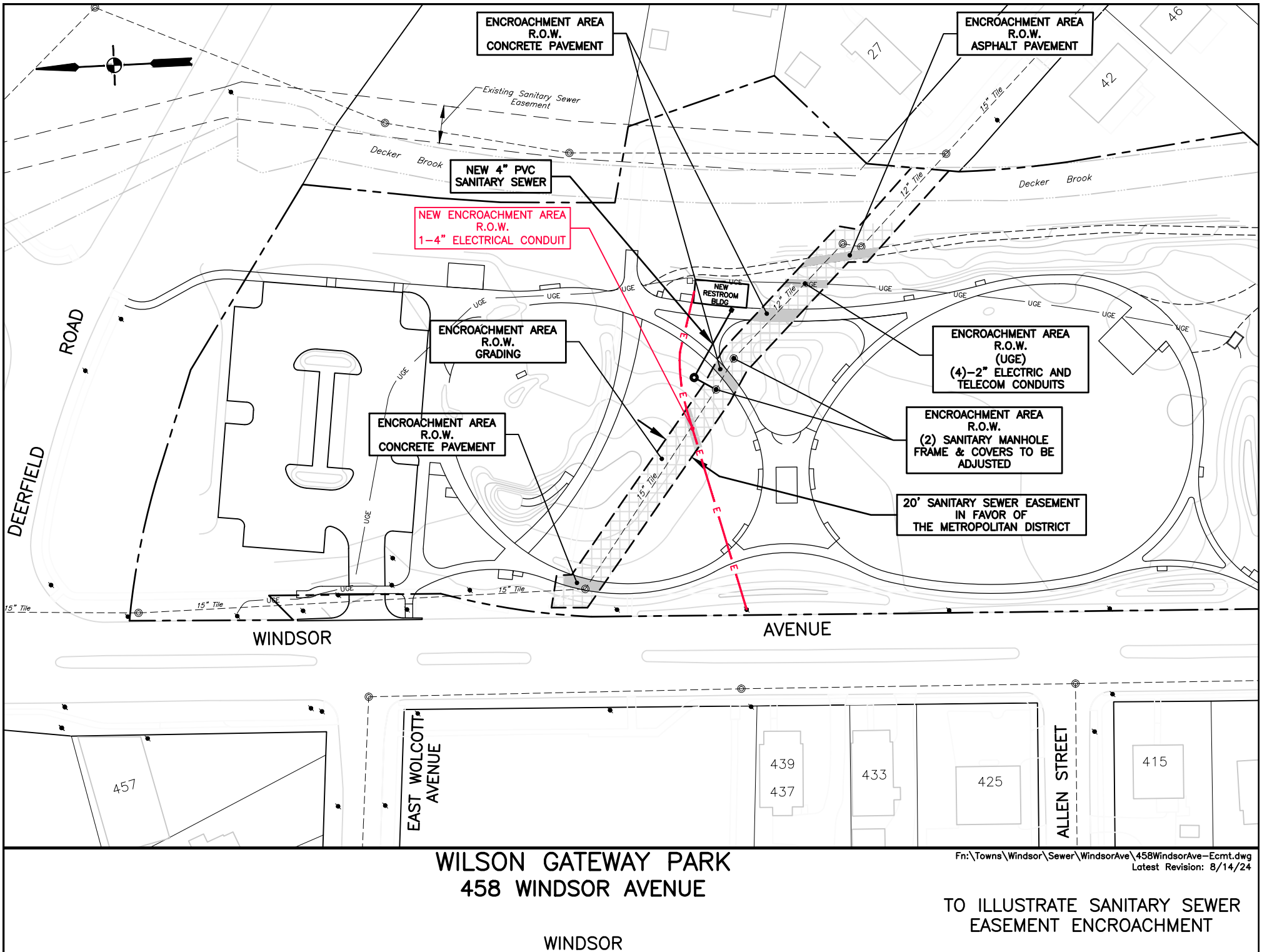


October 1, 2023, Prepared for Town of Windsor, 275 Broad Street, Windsor, CT 06095”, Sheet L-4.5, and the plan submitted by Eversource dated 7/29/2024, “Address: 458 Windsor Ave, WO# 18041424, Town: Windsor, Sheet: 1 of 1”, and (ii) maintain, repair and replace such Improvements, provided that: (a) the District shall not be held liable for any cost or damage of any kind and be indemnified from any claims from the present and in the following years as a result of any encroachment authorized hereby, (b) Owner shall obtain all required approvals and reimburse MDC for any attorney fees and other costs incurred by MDC in enforcing the encroachment agreement, and (c) such agreement shall not be effective until fully executed by the District and Owner, and recorded on the Windsor Land Records. In the event that such full execution and recording does not occur within three (3) months of the date this resolution is passed by the District Board, then such resolution shall be null and void, and of no further force and effect.

Respectfully submitted,

A handwritten signature in black ink that reads "John Mirtle". The signature is written in a cursive, flowing style.

John S. Mirtle, Esq.  
District Clerk



ENCROACHMENT AREA  
R.O.W.  
CONCRETE PAVEMENT

ENCROACHMENT AREA  
R.O.W.  
ASPHALT PAVEMENT

NEW 4" PVC  
SANITARY SEWER

NEW ENCROACHMENT AREA  
R.O.W.  
1-4" ELECTRICAL CONDUIT

ENCROACHMENT AREA  
R.O.W.  
GRADING

ENCROACHMENT AREA  
R.O.W.  
CONCRETE PAVEMENT

NEW  
RESTROOM  
BLDG

ENCROACHMENT AREA  
R.O.W.  
(UGE)  
(4)-2" ELECTRIC AND  
TELECOM CONDUITS

ENCROACHMENT AREA  
R.O.W.  
(2) SANITARY MANHOLE  
FRAME & COVERS TO BE  
ADJUSTED

20' SANITARY SEWER EASEMENT  
IN FAVOR OF  
THE METROPOLITAN DISTRICT

WINDSOR

AVENUE

EAST WOLCOTT  
AVENUE

ALLEN STREET

457

439  
437

433

425

415

WILSON GATEWAY PARK  
458 WINDSOR AVENUE

Fn:\Towns\Windsor\Sewer\WindsorAve\458WindsorAve-Ecmt.dwg  
Latest Revision: 8/14/24

TO ILLUSTRATE SANITARY SEWER  
EASEMENT ENCROACHMENT

WINDSOR

**BUREAU OF PUBLIC WORKS  
REGULAR MEETING  
555 Main Street, Hartford  
Wednesday, June 26, 2024**

**Present:** Commissioners John Avedisian, William A DiBella, John Gale, Allen Hoffman, Georgiana Holloway, Gary Johnson, Alvin Taylor, Calixto Torres and District Chairman Donald M. Currey (9)

**Remote**

**Attendance:** Commissioners James Healy, Maureen Magnan, Bhupen Patel and David Steuber (4)

**Absent:** Commissioners John Bazzano, Richard Bush, David Drake, Joan Gentile, Byron Lester, Pasquale J. Salemi and James Woulfe (7)

**Also**

**Present:** Commissioner Jackie Gorsky Mandyck  
Scott W. Jellison, Chief Executive Officer  
Christopher Stone, District Counsel  
John S. Mirtle, District Clerk  
Kelly Shane, Chief Administrative Officer  
Tom Tyler, Director of Facilities  
David Ruty, Director of Operations  
Robert Schwarm, Director of Information Technology (Remote Attendance)  
Michael Curley, Manager of Technical Services  
Jennifer Ottalagana, Senior Project Manager  
Nick Salemi, Communications Administrator  
Carrie Blardo, Assistant to the Chief Executive Officer  
Victoria Escoriza, Executive Assistant  
Jacob Aviles, IT Consultant (Remote Attendance)  
Matthew McAuliffe, IT Consultant (Remote Attendance)

**CALL TO ORDER**

The meeting was called to order by Chairman Hoffman at 4:06 PM

**PUBLIC COMMENTS RELATIVE TO AGENDA ITEMS**

No one from the public appeared to be heard.

**APPROVAL OF MEETING MINUTES**

***On motion made by Commissioner DiBella and duly seconded, the meeting minutes of April 24, 2024 were approved.***

**BUREAU OF PUBLIC WORKS  
CLOVER STREET PARK, WINDSOR ENCROACHMENT AGREEMENT**

To: Bureau of Public Works for consideration on June 26, 2024

In a letter dated April 19, 2024, Mr. Robert S. Newton, P.E., Senior Project Manager at BSC Group, on behalf of the Town of Windsor, owner of the above-referenced property ("Owner"), has requested permission from The Metropolitan District ("MDC" or "District") to encroach on the MDC's existing 20-foot-wide Deckers Brook Trunk Sewer easement or right-of-way, encompassing an existing 15-inch sanitary trunk sewer and its appurtenant infrastructure (collectively, the "Sewer"), situated on the Property ("ROW") for the purpose of constructing and installing site improvements for and in connection with the Clover Street Park Revitalization Project (the "Project").

The proposed work for the Project entails (i) removal of topsoil, filling of up to 2 feet of fill, with loaming and seeding, (ii) installation of new cricket pitch, (iii) installation of new 3-inch underdrainage system, (iv) installation of new 12-inch drainage piping and catch basins, and (v) removal of existing and installation of new bituminous driveway and parking as shown on the accompanying map (collectively, the "Improvements"). The Sewer was built in 1956 under Contract 56-3, and was rehabilitated in 2010 under Contract 2008-63.

MDC staff has concluded that the Improvements are minor and that there will be no detriment to the Sewer as a result, provided Owner enters into and executes an encroachment agreement with the MDC, whereby Owner complies with the following conditions and other conditions required hereby.

Owner has agreed to the following conditions in order to satisfy the District's concerns for protection of the Sewer located within the Property and to maintain accessibility along the length of the MDC's ROW:

1. Care must be taken during the performance of work for the Improvements or any maintenance, repair or replacement of the same not to disturb the Sewer. All heavy construction equipment and materials must be located outside of the limits of the ROW when not in use. Any earth moving equipment that will be utilized on the ROW over and adjacent to the Sewer shall be reviewed and approved by District staff prior to mobilization to the site. Any damage to the Sewer caused by any construction, maintenance, repair, replacement or associated activities by or on behalf of Owner within the ROW shall be the responsibility of the Owner.
2. No additional permanent improvements, other than the proposed Improvements, shall be located within the ROW.
3. The District reserves the right to remove Improvements within the ROW at any time if so required for maintenance, repair or replacement of the Sewer. Owner shall bear any additional maintenance, repair or replacement costs necessitated by the presence of Improvements within the ROW, including any such costs incurred by the District.

4. In the event of a sewer emergency caused by the proposed excavation described above, the Owner shall provide, install, operate and remove, at the Owner's expense, an appropriately sized bypass pump and appurtenances.
5. An MDC or MDC hired-consultant inspector must be on the job site whenever work is being performed within the ROW, and Owner shall be responsible for the cost and expense of such inspector. Any construction of the Improvements as well as any subsequent construction, maintenance, repair or replacement of the Improvements shall conform to District standards and 48-hours advance notice must be given to the District and a preconstruction meeting shall be held prior to commencing any such activities within the ROW, except in the case of an emergency, in which case notice must be provided to the District as soon as practicable. Such inspector shall have the unilateral right to halt performance of any such work in the event the integrity of the Sewer is in any way threatened as determined by such inspector in his or her sole and absolute discretion.
6. The Owner shall perform a CCTV inspection, witnessed by an MDC inspector, of the Sewer in the areas of the construction prior to and upon completion of backfilling and restoration of the excavated areas. The videos will be delivered to the District for the purposes of assessing the pre- and post-activity condition of the Sewer.
7. The Owner shall maintain the District's standard form of insurance as stipulated in the MDC's most current Guidance Manual for Developers' Permit Agreements, which insurance shall remain in force and effect during the performance of any work with in the ROW pursuant to the encroachment contemplated herein.

Staff has reviewed this request and considers it feasible, subject to the terms and conditions herein.

Accordingly, a formal written encroachment agreement shall be entered into and executed by the Owner and the District, which agreement shall include the above conditions and any other conditions set forth herein, and filed on the Town of Windsor Land Records.

It is **RECOMMENDED** that it be

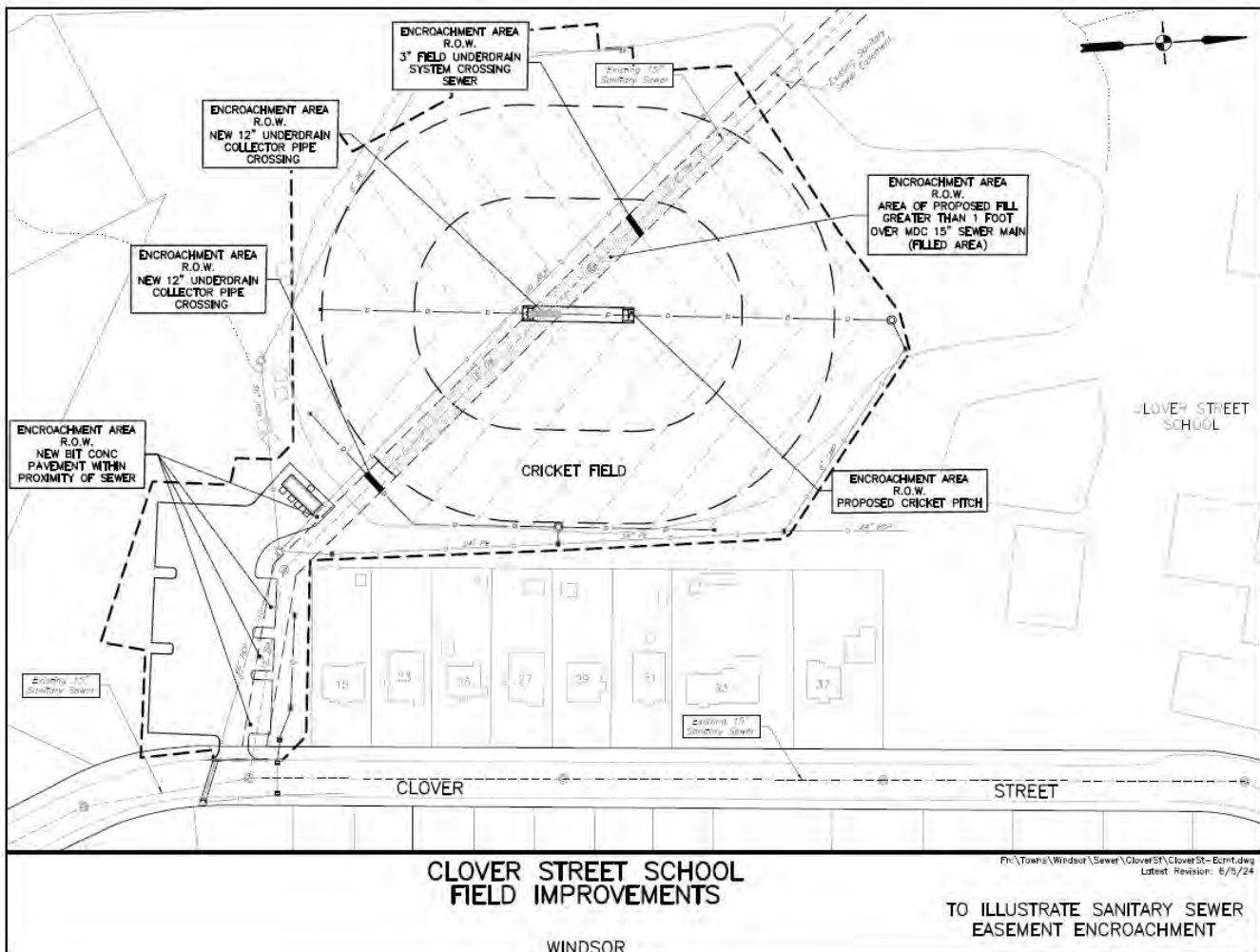
**VOTED:** That the Bureau of Public Works recommends to the District Board passage of the following resolution:

**RESOLVED:** That the Chairman or Vice Chairman of the District Board be authorized to execute an agreement, with the above conditions and subject to approval of form by District Counsel, granting permission to Owner to encroach upon the existing 20-foot sanitary sewer easement situated on the Property in order to: (i) perform the work for the Improvements in connection with the Project as shown on the plan submitted by BSC Group entitled "Clover Street School Field Improvements, Clover Street in Windsor, Connecticut (Hartford County), Proposed Improvements Near MDC Sewer, April 19, 2024, Prepared for Town of Windsor, 275 Broad

Street, Windsor, CT 06095”, Sheet MDC, and (ii) maintain, repair and replace such improvements, provided that: (a) the District shall not be held liable for any cost or damage of any kind from the present and in the following years as a result of any encroachment authorized hereby, (b) Owner shall reimburse MDC for any attorney fees and other costs incurred by MDC in enforcing the encroachment agreement, and (c) such agreement shall not be effective until fully executed by the District and Owner, and recorded on the Windsor Land Records. In the event that such full execution and recording does not occur within three (3) months of the date this resolution is passed by the District Board, then such resolution shall be null and void, and of no further force and effect.

Respectfully submitted,

John S. Mirtle  
District Clerk





Engineers  
 Environmental Scientists  
 Software Developers  
 Landscape Architects  
 Planners  
 Surveyors

[www.bscgroup.com](http://www.bscgroup.com)

APRIP 19, 2024

Mr. Michael Curley  
 Manager of Technical Services  
 The Metropolitan District  
 555 Main Street, P.O. Box 800  
 Hartford, CT 06142-080

RE: Clover Street Park Revitalization  
 Clover Street  
 Windsor CT 06095

Dear Mr. Curley,

On behalf of the Town of Windsor CT (Town), BSC Group (BSC) would like to request an encroachment permit for the reconstruction of a cricket oval for the community at Clover Street Park. There is a 15" MDC Sanitary Sewer (Deckers Brook Trunkline) that is located across the field from west to east (from I-91 – Clover Street). No record of an easement in favor of the MDC has been found on town records.

The proposed improvements to the existing cricket field include the importing of well-draining material, installation of an underdrain system, improvements to the pitch, additional parking, and the replacement of the restroom facility.

Construction activities within 20' of the MDC trunkline will include:

- Removal of Topsoil
- Earthwork inclusive of importing fill (1-2 feet within the area of trunkline)
- Installation of new cricket pitch
- Installation of new underdrainage system.
- Installation of new drainage piping and catch basins.
- Removal of existing driveway
- Installation of new bituminous driveway and associated parking.
- Installation of temporary erosion controls during construction
- Loaming and seeding

Long-term maintenance activities within the easement will include:

- Mowing and other horticultural practices to maintain turf. Currently, fertilizer and other turf chemicals are not proposed for use.

A detailed drawing showing the improvements is included in Attachment 1.

Please consider this a formal request for a permanent encroachment permit to develop and maintain site improvements within the vicinity of the MDC sanitary sewer trunk line. Please do not hesitate to contact me with any comments or questions regarding this request.

Best Regards,

Robert S. Newton, P.E.  
 Senior Project Manager

encl: Topographic Survey; Grading Drainage and Utility Plan  
 CC: Frank Vacca – BSC; Suzanne Choate – Town of Windsor

***On motion made by Commissioner DiBella and duly seconded, the report was received and resolution adopted by unanimous vote of those present.***

**BUREAU OF PUBLIC WORKS  
923 WINDSOR AVENUE, WINDSOR ENCROACHMENT AGREEMENT**

To: Bureau of Public Works for consideration on June 26, 2024

In a letter dated July 20, 2023, Gregory Robertson (“Owner”) current owner of the above-referenced property (the “Property”), has requested permission from The Metropolitan District (“MDC” or “District”) to encroach on the MDC’s existing twenty-foot-wide (20’) sewer easement situated on the Property (the “Easement”) for the purpose of installing a gas service line for 11 Woody Brook Road, Windsor. Both properties, 923 Windsor Avenue and 11 Woody Brook Road, are owned by Gregory Robertson and abut each other, as shown on the attached map (the “Map”).

The proposed work entails installing a ¾-inch gas service line through the property of 923 Windsor Avenue to serve the property located at 11 Woody Brook Road within the Easement as shown on the Map (the “Improvements”). The proposed line will be installed approximately 3-feet deep with minimal earthwork above the MDC’s existing eight-inch (8”) styrene plastic sanitary sewer and its appurtenances situated within the Easement (collectively, the “Sewer”) with a minimum of two- and one-half feet (2.5’) of vertical clearance between this Sewer and such line, and the grades will not change. Eversource will require a fifteen-foot-wide (15’) easement (centered on this line) which will overlap perpendicularly with the Easement (the “Eversource Easement”). The Sewer was built in 1964 and the Easement was acquired by the MDC through the Layout for Sanitary Sewers in Private Lands West of Windsor Avenue, Windsor, Near Scarborough Road and Woodybrook Road, Certificate of Certain Rights Acquired for Proposed Sewer, Bureau of Public Works, Volume 196, Page 546.

MDC staff has concluded that the Improvements are minor and that there will be no detriment to the Sewer as a result, provided Owner enters into and executes an encroachment agreement with the MDC, whereby Owner complies with the following conditions and other conditions required hereby.

Owner has agreed to the following conditions in order to satisfy the District’s concerns for protection of the Sewer located within the Property and to maintain accessibility along the length of the MDC’s ROW:

1. Care must be taken during the performance of work for the Improvements or any maintenance, repair or replacement of the same not to disturb the Sewer. All heavy construction equipment and materials must be located outside of the limits of the ROW when not in use. Any earth moving equipment that will be utilized on the ROW over and adjacent to the Sewer shall be reviewed and approved by District staff prior to mobilization to the site. Any damage to the Sewer caused by any construction, maintenance, repair, replacement or associated activities by or on behalf of Owner within the ROW shall be the responsibility of the Owner.



2. No additional permanent improvements, other than the proposed Improvements, shall be located within the ROW.
3. The District reserves the right to remove Improvements within the ROW at any time if so required for maintenance, repair or replacement of the Sewer. Owner shall bear any additional maintenance, repair or replacement costs necessitated by the presence of Improvements within the ROW, including any such costs incurred by the District.
4. An MDC or MDC hired-consultant inspector must be on the job site whenever work is being performed within the ROW, and Owner shall be responsible for the cost and expense of such inspector. Any construction of the Improvements as well as any subsequent construction, maintenance, repair or replacement of the Improvements shall conform to District standards and 48-hours advance notice must be given to the District and a preconstruction meeting shall be held prior to commencing any such activities within the ROW, except in the case of an emergency, in which case notice must be provided to the District as soon as practicable. Such inspector shall have the unilateral right to halt performance of any such work in the event the integrity of the Sewer is in any way threatened as determined by such inspector in his or her sole and absolute discretion.

Staff has reviewed this request and considers it feasible, subject to the terms and conditions herein.

Accordingly, a formal written encroachment agreement shall be entered into and executed by the Owner and the District, which agreement shall include the above conditions and any other conditions set forth herein, and filed on the Town of Windsor Land Records.

It is **RECOMMENDED** that it be

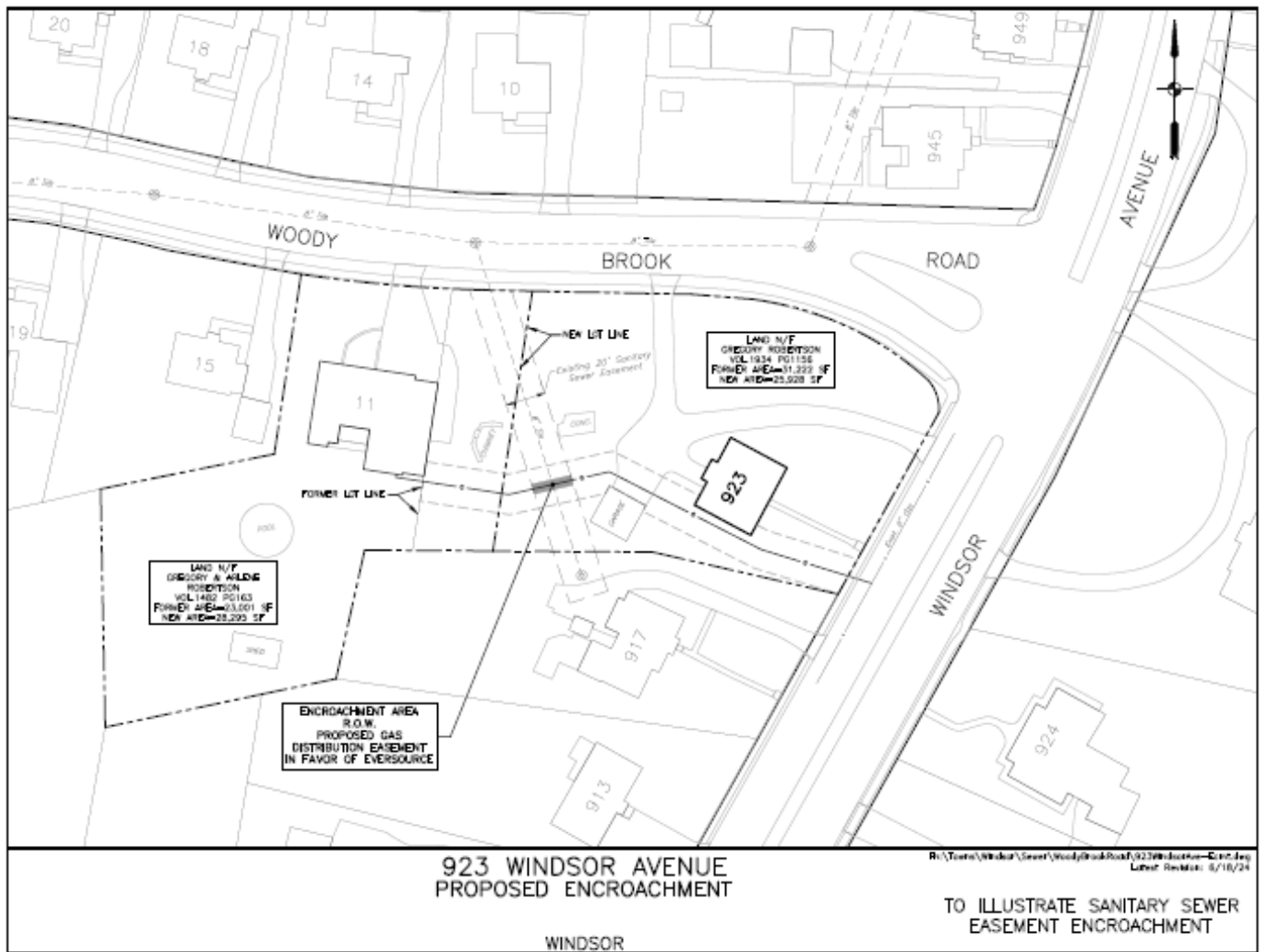
**VOTED:** That the Bureau of Public Works recommends to the District Board passage of the following resolution:

**RESOLVED:** That the Chairman or Vice Chairman of the District Board be authorized to execute an agreement, with the above conditions and subject to approval of form by District Counsel, granting permission to Owner to encroach upon the existing 20-foot sanitary sewer easement situated on the Property in order to: (i) perform the work for the Improvements in connection with the Project as shown on the plan submitted by Gregory Robertson entitled "Property/Lot Line Revision Prepared for Gregory Robertson, Windsor Avenue & Woody Brook Road, Windsor, Connecticut, Scale: 1" = 30', Date: 10/31/2022, Drawn By: MLE, Checked By: JEJ, Jones Engineering LLC, Civil Engineering & Land Surveying, 962 Savage Street, P.O. Box 249, Southington, CT 06489", Sheet Number 1 of 1, and (ii) maintain, repair and replace such Improvements, provided that: (a) the District shall not be held liable for any cost or damage of any kind from the present and in the following years as a result of any encroachment authorized hereby, (b) Owner shall reimburse MDC for any attorney fees and other costs incurred by MDC in enforcing the encroachment agreement, and (c) such agreement shall not be effective until

fully executed by the District and Owner, and recorded on the Windsor Land Records. In the event that such full execution and recording does not occur within three (3) months of the date this resolution is passed by the District Board, then such resolution shall be null and void, and of no further force and effect.

Respectfully submitted,

John S. Mirtle  
District Clerk



July 20, 2023

Mr. Michael Curley, Manager of Technical Services  
The Metropolitan District  
Engineering & Planning  
555 Main Street Hartford, CT 06103

**RE: 923 Windsor Ave. Windsor (Easement)**

**Easement Encroachment Permit Request**

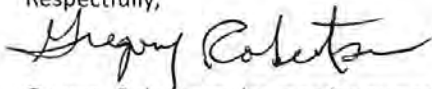
Good day MDC's Engineering team,

I would like to request an Easement Encroachment Permit for the above-mentioned property. We are currently clearing an easement with EverSource Gas, to install a gas service through the property of 923 Windsor Ave. Windsor, CT. 06095. The purpose of the request is to service an adjacent property, which is located at 11 Woody Brook Rd, rear of 923 Windsor Ave. The existing gas main is located within Windsor Ave., (route 159). The EverSource gas construction team surveyed the site and determined a gas service can be provided to serve 11 Woody Brook Rd., by way of the rear of both properties. The existing MDC main sewer easement in the rear of 923 Windsor Ave. runs from Woody Brook Rd to the property next door which is 919 Windsor Ave. The main sewer services the two (2) Windsor Ave properties, 919 & 923 only. The construction activities within the MDC easement will consist of installing a ¾" gas service line, approximately 3' deep within an approximate 6' section of the MDC easement in the rear of 923 Windsor Ave. EverSource gas construction team will perform the installation and restoration of the site, back to its original position.

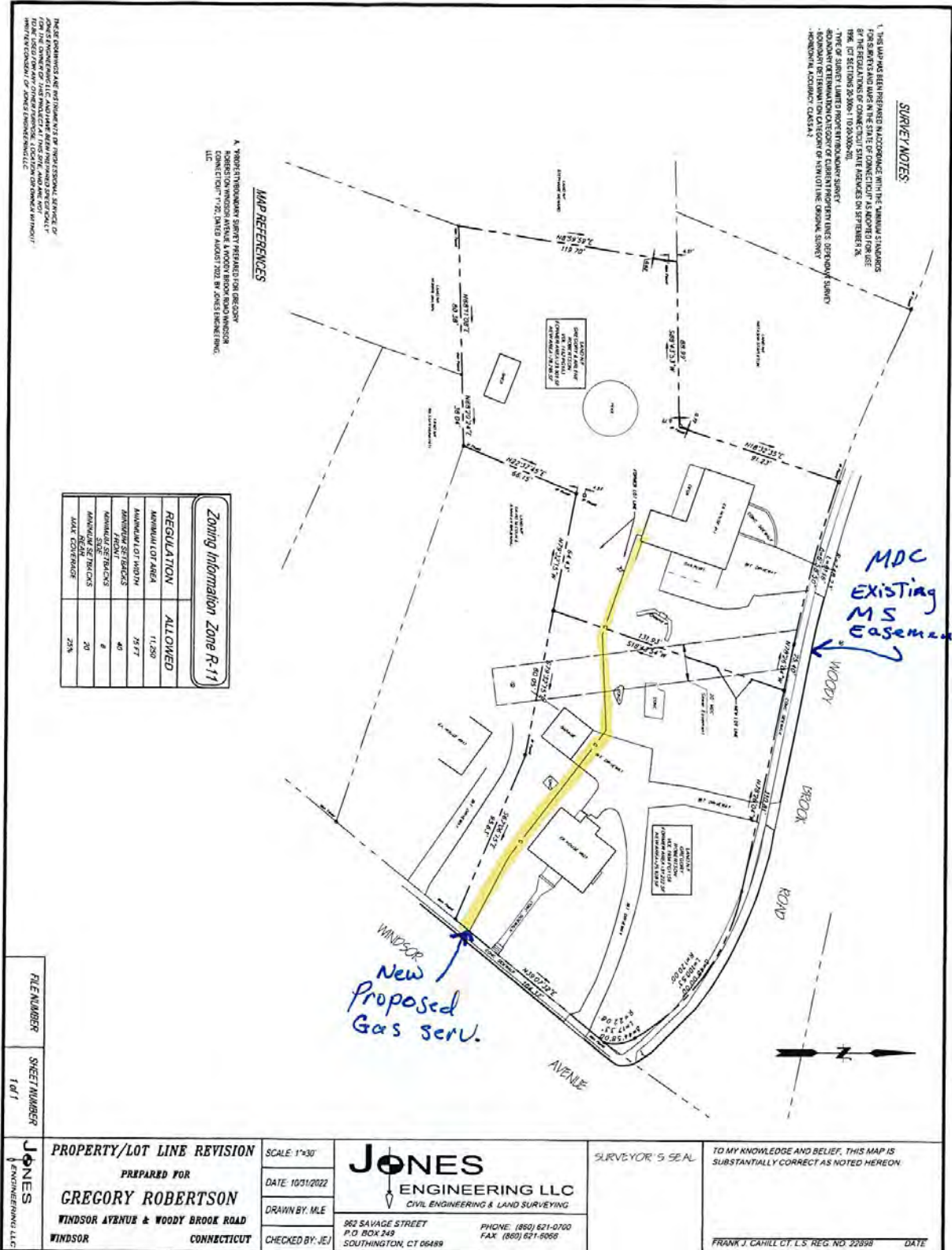
A sketch of the property and proposed work site is attached.

Please consider this a formal request for a permanent encroachment permit to install a gas service line within the MDC easement.

Respectfully,



Gregory Robertson, (properties owner)  
11 Woody Brook Rd, Windsor CT 06095  
Cell: 860-471-1507  
email: Gcowboys62@gmail.com



**SURVEY NOTES:**

1. THIS MAP WAS PREPARED IN ACCORDANCE WITH THE NATIONAL STANDARDS FOR SURVEYING AND MAPS IN THE STATE OF CONNECTICUT AS NOTED FOR THE DATE OF THIS SURVEY. THE SURVEY WAS CONDUCTED ON SEPTEMBER 14, 2022. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE NATIONAL STANDARDS FOR SURVEYING AND MAPS IN THE STATE OF CONNECTICUT AS NOTED FOR THE DATE OF THIS SURVEY. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE NATIONAL STANDARDS FOR SURVEYING AND MAPS IN THE STATE OF CONNECTICUT AS NOTED FOR THE DATE OF THIS SURVEY.

**MAP REFERENCES:**

A. WINDSOR STREET FRONTAGE SURVEY PREPARED FOR DEBORAH ROBERTSON WINDSOR AVENUE & WOODY BROOK ROAD WINDSOR, CONNECTICUT BY JONES ENGINEERING, LLC

THESE DIMENSIONS AND DISTANCES ARE THE PROPERTY OF JONES ENGINEERING, LLC AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF JONES ENGINEERING, LLC.

**Zoning Information Zone R-11**

REGULATION	ALLOWED
MINIMUM LOT AREA	11,580
MINIMUM LOT WIDTH	75 FT
MINIMUM SETBACKS	40
MINIMUM SETBACKS	4
MINIMUM SETBACKS	20
MAX. COVERAGE	25%

FILE NUMBER: 1617  
SHEET NUMBER: 1617  
JONES ENGINEERING, LLC

PROPERTY/LOT LINE REVISION  
PREPARED FOR  
**GREGORY ROBERTSON**  
WINDSOR AVENUE & WOODY BROOK ROAD  
WINDSOR CONNECTICUT

SCALE: 1"=30'  
DATE: 10/31/2022  
DRAWN BY: MLE  
CHECKED BY: JEI

**JONES ENGINEERING LLC**  
CIVIL ENGINEERING & LAND SURVEYING  
962 SAVAGE STREET  
P.O. BOX 248  
SOUTHINGTON, CT 06488  
PHONE: (860) 621-0700  
FAX: (860) 621-6966

SURVEYOR'S SEAL

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.  
FRANK J. CAHILL, C.T. L.S. REG. NO. 22898 DATE

***On motion made by Commissioner Gale and duly seconded, the report was received and resolution adopted by unanimous vote of those present.***

***Commissioner Patel entered the meeting remotely at 4:19 PM***

**BUREAU OF PUBLIC WORKS  
2180 BERLIN TURNPIKE, WETHERSFIELD ENCROACHMENT AGREEMENT**

To: Bureau of Public Works for consideration on June 26, 2024

In a letter dated January 25, 2024, Jason Montagno, P.E., of Solli Engineering, on behalf of Stack-N-Stor Wethersfield LLC, (“Owner”) owner of the above-referenced property (the “Property”), has requested permission from The Metropolitan District (“MDC” or “District”) to encroach on the MDC’s existing twenty-foot-wide (20’) sewer easement situated on the Property (the “Easement”) for the purpose of constructing and installing site improvements for and in connection with a proposed self-storage development project, as shown on the attached map (the “Map”).

The proposed work for the Project entails (i) removal of topsoil, installation of fill varying from 3 feet to 11 feet, (ii) installation of curbing and guardrail, (iii) installation of electrical, telecom and cable conduits, (iv) installation of new natural gas service, (v) installation of water services and sanitary sewer lateral, (vi) installation of new 18” HDPE drainage piping, and (vii) installation of new bituminous driveway and parking as shown on the accompanying map (collectively, the “Improvements”). The eight-inch (8”) PVC sanitary sewer and its appurtenances situated within the Easement (collectively, the “Sewer”) was built in 1985 and the Easement acquired by the MDC through Contract 85-55 known as “Berlin Turnpike North of Prospect St. #2, Newington-Wethersfield”.

MDC staff has concluded that the Improvements are minor and that there will be no detriment to the Sewer as a result, provided Owner enters into and executes an encroachment agreement with the MDC, whereby Owner complies with the following conditions and other conditions required hereby.

Owner has agreed to the following conditions in order to satisfy the District’s concerns for protection of the Sewer located within the Property and to maintain accessibility along the length of the MDC’s ROW:

1. Care must be taken during the performance of work for the Improvements or any maintenance, repair or replacement of the same not to disturb the Sewer. All heavy construction equipment and materials must be located outside of the limits of the ROW when not in use. Any earth moving equipment that will be utilized on the ROW over and adjacent to the Sewer shall be reviewed and approved by District staff prior to mobilization to the site. Any damage to the Sewer caused by any construction, maintenance, repair, replacement or associated activities by or on behalf of Owner within the ROW shall be the responsibility of the Owner.

2. No additional permanent improvements, other than the proposed Improvements, shall be located within the ROW.
3. The District reserves the right to remove Improvements within the ROW at any time if so required for maintenance, repair or replacement of the Sewer. Owner shall bear any additional maintenance, repair or replacement costs necessitated by the presence of Improvements within the ROW, including any such costs incurred by the District.
4. In the event of a sewer emergency caused by the proposed excavation described above, the Owner shall provide, install, operate and remove, at the Owner's expense, an appropriately sized bypass pump and appurtenances.
5. An MDC or MDC hired-consultant inspector must be on the job site whenever work is being performed within the ROW, and Owner shall be responsible for the cost and expense of such inspector. Any construction of the Improvements as well as any subsequent construction, maintenance, repair or replacement of the Improvements shall conform to District standards and 48-hours advance notice must be given to the District and a preconstruction meeting shall be held prior to commencing any such activities within the ROW, except in the case of an emergency, in which case notice must be provided to the District as soon as practicable. Such inspector shall have the unilateral right to halt performance of any such work in the event the integrity of the Sewer is in any way threatened as determined by such inspector in his or her sole and absolute discretion.
6. The Owner shall perform a CCTV inspection, witnessed by an MDC inspector, of the Sewer in the areas of the construction prior to and upon completion of backfilling and restoration of the excavated areas. The videos will be delivered to the District for the purposes of assessing the pre- and post-activity condition of the Sewer.
7. The Owner shall maintain the District's standard form of insurance as stipulated in the MDC's most current Guidance Manual for Developers' Permit Agreements, which insurance shall remain in force and effect during the performance of any work with in the ROW pursuant to the encroachment contemplated herein.

Staff has reviewed this request and considers it feasible, subject to the terms and conditions herein.

Accordingly, a formal written encroachment agreement shall be entered into and executed by the Owner and the District, which agreement shall include the above conditions and any other conditions set forth herein, and filed on the Town of Newington/Wethersfield Land Records.

It is **RECOMMENDED** that it be

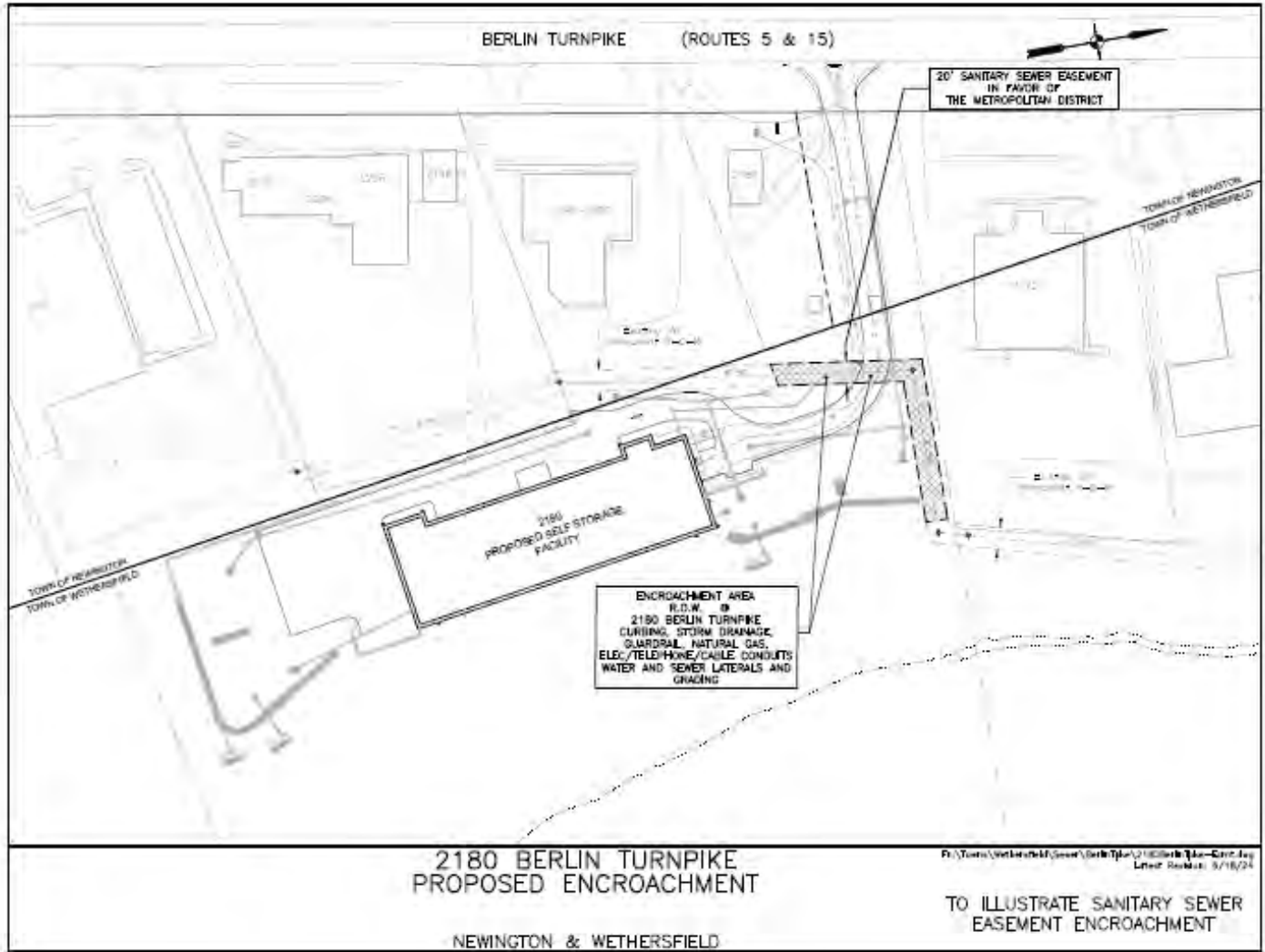
**VOTED:** That the Bureau of Public Works recommends to the District Board passage of the following resolution:

**RESOLVED:** That the Chairman or Vice Chairman of the District Board be authorized to execute an agreement, with the above conditions and subject to approval of form by District Counsel, granting permission to Owner to encroach upon the existing 20-foot sanitary sewer easement situated on the Property in order to: (i) perform the work for the Improvements in connection with the Project as shown on the plan submitted by Solli Engineering entitled "Stack-N-Stor, 2176 & 2180 Berlin Turnpike, Newington/Wethersfield, CT, Utility Plan" Rev. #3 Date 01/25/24, Final Filing, Sheet #2.51, and (ii) maintain, repair and replace such Improvements, provided that: (a) the District shall not be held liable for any cost or damage of any kind from the present and in the following years as a result of any encroachment authorized hereby, (b) Owner shall reimburse MDC for any attorney fees and other costs incurred by MDC in enforcing the encroachment agreement, and (c) such agreement shall not be effective until fully executed by the District and Owner, and recorded on the Newington/Wethersfield Land Records. In the event that such full execution and recording does not occur within three (3) months of the date this resolution is passed by the District Board, then such resolution shall be null and void, and of no further force and effect.

Respectfully submitted,

A handwritten signature in black ink that reads "John S. Mirtle". The signature is written in a cursive, flowing style.

John S. Mirtle  
District Clerk







January 25, 2024

Mr. Michael Curley, Manager of Technical Services  
The Metropolitan District  
Engineering & Planning  
555 Main Street  
P.O. Box 800  
Hartford, CT 06142-0800

**RE: Encroachment Permit Request  
2176 & 2180 Berlin Turnpike  
Newington/Wethersfield, Connecticut  
Solli Project Number: 22104401**

Dear Mr. Curley,

On behalf of the Applicant, Stack-N-Stor Wethersfield LLC, please except this request for an encroachment permit for the proposed self-storage facility located at 2176 & 2180 Berlin Turnpike in Newington/Wethersfield, CT. The project features the construction of an 84,920± SF self-storage facility, 5,000± SF of outdoor storage and associated site improvements, grading and drainage, utility work, landscaping, and lighting. The proposed project is located on approximately 11.40 acres of land east of the Berlin Turnpike and south of Lifeway Church. The portion of the project that will require an encroachment permit from The MDC is located at the northwestern corner of the site. The development is anticipated to begin construction in the spring of 2024.


Construction activities within the MDC Easement include:

- Clearing & grubbing
- Earth moving (excavation & fill)
- Installation of utility and stormwater system infrastructure
- Installation of bituminous concrete roadway and curbing

Detailed plans for all proposed construction within the MDC easement are enclosed with this letter. Please accept this letter as a formal request for a permanent encroachment permit. If you have any comments or questions, please provide them at your earliest convenience. We look forward to working with you on the application.

Respectfully,

**Solli Engineering, LLC**



Jason Montagno, P.E.  
Senior Project Engineer

501 Main Street, Suite 2A  
Monroe, CT 06468  
Office: (203) 880-5455

[www.SolliEngineering.com](http://www.SolliEngineering.com)

11 Vanderbilt Avenue, Suite 240  
Norwood, MA 02062  
Office: (781) 352-8491

*On motion made by Commissioner DiBella and duly seconded, the report was received and resolution adopted by unanimous vote of those present.*

**MEMORANDUM OF UNDERSTANDING WITH CITY OF HARTFORD RE: MS4 PERMIT**

Chief Executive Officer Scott Jellison and District Counsel Christopher Stone provided an update on a Memorandum of Understanding with the City of Hartford regarding the MS4 Permit

**OPPORTUNITY FOR GENERAL PUBLIC COMMENTS**

No one from the public appeared to be heard.

**COMMISSIONER REQUESTS FOR FUTURE AGENDA ITEMS**

Commissioner Mandyck requested an update on the North Branch Park River

**ADJOURNMENT**

The meeting was adjourned at 4:59 PM

ATTEST:

John S. Mirtle  
District Clerk

\_\_\_\_\_  
Date of Approval